



Alamogordo City Commission

NOTICE OF MEETING

Regular Meeting Agenda

April 12, 2016 - 7:00 PM
City Hall, City Commission Chambers
1376 E. Ninth St.

Richard Boss Mayor
Al Hernandez Mayor Pro-Tem, District 5
Jason Baldwin District 1
Nadia Sikes District 2
Susan Payne District 3
Jenny Turnbull District 4
Erica Martin District 6

George Straface Interim City Manager
Stephen Thies City Attorney
Nancy Jacobs City Clerk

MISSION STATEMENT as Adopted by the City Commission on March 24, 1995.

The City of Alamogordo is a Municipal Corporation that exists solely for the purpose of providing the best possible services to our customers, the citizens of Alamogordo. We are committed to providing these services with honesty, integrity, compassion, fairness, and a commitment to excellence.

We are committed to the long-term financial stability and responsible growth of the City and all decisions will be driven by our commitment to provide the best services possible in a financially sound and responsible manner given the economic realities facing the City.

In accordance with Section 10-15-1.D, NMSA 1978 (2010 Cumulative Supplement), this agenda has been posted on the bulletin board located in the east/west lobby of the City Hall and in the glass case located outside the north entrance of the City Hall, distributed to the appropriate news media, and posted on the City website: <http://ci.alamogordo.nm.us> within the required time frame. As a courtesy, the entire Agenda Packet has also been posted on the City of Alamogordo website: <http://ci.alamogordo.nm.us>

The Mayor and City Commission request that all cell phones be turned off or set to vibrate. Members of the audience are requested to step outside the Commission Chambers to respond to or to conduct a phone conversation. The Alamogordo Commission Chambers is wheelchair accessible. Other special assistance for disabled attendees must be requested 48 hours in advance by contacting the City Clerk's Office at 575-439-4205.

CALL TO ORDER & ROLL CALL

Announce the presence of a Quorum.

INVOCATION & PLEDGE OF ALLEGIANCE

APPROVAL OF AGENDA

PRESENTATIONS

1. Presentation concerning upcoming Alamogordo Club for Teens Art in the Park Music and Dance Festival scheduled for June 4, 2016 in Washington Park. (*Ingo Hoeppner, ACT Founder/President*)

2. Presentation of an overview of the consolidation of the City of Alamogordo's Public Safety Answering Point (PSAP), and an update of current consolidation efforts. *(Mikel Ward, Fire Chief)*

PUBLIC COMMENT

Residents must sign up with the City Clerk to address the City Commission. Comments are limited to 3 Minutes, and there will be a maximum of 21 Minutes allowed for Public Comment.

CITY MANAGER'S REPORT

REMARKS AND INQUIRIES BY THE CITY COMMISSION

CONSENT AGENDA (Roll Call Vote Required for Item No. 10)

All matters listed under the Consent Agenda are considered to be routine by the City Commission and will be enacted by one motion. There will not be separate discussion of these items. If discussion is desired, that item will be removed from the Consent Agenda and will be considered separately.

3. Approve the Minutes for March 22, 2016 Regular City Commission Meetings. *(Nancy Jacobs, City Clerk)*
4. Approve the statement related to the Executive Session held on March 22, 2016. *(Nancy Jacobs, City Clerk)*
5. Consider, and act upon, award of RFQ No. 2016-02, Engineering and Design Services for North Scenic Drive Extension to Mesa Verde Ranch Road, to Smith Engineering Co. *(Brian Cesar, Public Works Director)*
6. Consider, and act upon Memorandum of Understanding between the City of Alamogordo and Lincoln County concerning Bonito watershed restoration and improvements. *(Veronica Ortega, Community Services Director)*
7. Consider, and act upon, the award of Public Works Bid No. 2016-006 to Smith Roofing, Inc. related to the Alamogordo Housing Authority Complex and Office Reroof in an amount not to exceed \$746,680.68, including NMGR. *(Evelyn Huff, Housing Authority Manager)*
8. Approve an Application for the Fire Protection Fund Distribution FY17. *(Mikel Ward, Fire Chief)*
9. Consider, and act upon, award IFB No. 2016-03 to multiple vendors, in amount not to exceed \$128,434.09 related to Miscellaneous Foods, Dairy Products & Items for the Alamogordo Senior Center Nutrition Program. *(Veronica Ortega, Community Services Director)*
10. Consider, and act upon, HA Resolution 2016-13 requesting approval of HUD Form 50077-CR, Civil Rights Certification. *(Evelyn Huff, Housing Authority Manager)* **(Roll Call vote required)**
11. Consider, and act upon, the Lodger's Tax Expenditures for Tourism & Travel. *(Jan Wafful, Special Events Manager)*

ITEMS REMOVED FROM CONSENT AGENDA

UNFINISHED BUSINESS

12. Consider, and act upon, funding for the Family Fun Center. *(George Straface, Interim City Manager)*

NEW BUSINESS

13. Consider, and act upon, abatement of \$413.06 water billing for 1019 Sleepy Hollow Ave. *(Mark Threadgill, Customer Service Manager)*

14. Consider, and act upon, a land lease with New Mexico RSA 6-I Partnership, d/b/a Verizon Wireless for the purpose of constructing a communications tower on City property. (*Stephen Thies, City Attorney*)

15. Consider, and act upon, the first publication of Ordinance No. 1511 authorizing the sale of certain city owned property located at 1212 Puerto Rico in the amount of \$36,000 to Keith Autry (*Evelyn Huff, Housing Authority Manager*)

16. Consider, and act upon, the first publication of Ordinance No. 1512 authorizing the sale of certain city owned property located at 1319 Ohio in the amount of \$26,000 to Keith Autry (*Evelyn Huff, Housing Authority Manager*)

17. Consider, and act upon, the first publication of Ordinance No. 1513 authorizing the sale of certain city owned property located at 1315 Puerto Rico in the amount of \$17,500 to Keith Autry (*Evelyn Huff, Housing Authority Manager*)

18. Consider, and act upon, the first publication of Ordinance No. 1514 authorizing the sale of certain city owned property located at 700 Ridgecrest in the amount of \$31,000 to Thomas Phillips (*Evelyn Huff, Housing Authority Manager*)

19. Appointments to Boards and Committees. (*Richard Boss, Mayor*)

PUBLIC COMMENT (Continued if needed)...

EXECUTIVE SESSION (Roll Call Vote Required)

Adjourn into Executive Session in compliance with Section 10-15-1(H), NMSA 1978 (as amended), to discuss Limited Personnel Matters (Interim City Manager). (**Roll Call Vote required**)

ADJOURNMENT

**WE WILL BE CHANGING OUR MEETING TIMES
BEGINNING WITH THE MAY 10, 2016 CITY COMMISSION MTG.
NEW MEETING TIME WILL BE 6:30 P.M.**

AGENDA REPORT

CITY OF ALAMOGORDO

CITY COMMISSION

Meeting Date: 04/12/2016

Report Date: 3/24/2016

Report No: 1.

Submitted By: Nancy Jacobs, City Clerk

Subject: Presentation concerning upcoming Alamogordo Club for Teens Art in the Park Music and Dance Festival scheduled for June 4, 2016 in Washington Park. (*Ingo Hoepfner, ACT Founder/President*)

Fiscal Impact:

Amount Budgeted:

Fund:

Additional Fiscal Impact:

Recommendation:

Background: The ACT will be holding their 2nd Annual Art in the Park Music and Dance Festival "One World One Beat" on June 4, 2016 in Washington Park. They will need a stage and would like to Commission to consider waiving the fee for the stage and the fee for electricity.



Alamogordo Club for Teens
1111 Tenth Street #533
Alamogordo, NM 88310

RECEIVED
APR 07 2016
CITY CLERK

City of Alamogordo
1376 East Ninth Street
Alamogordo, NM 88310

April 7, 2016

Re: Art in the Park, 2016

Alamogordo Club for Teens (a 501c3 non-profit) is planning on having our second annual Art in the Park, 2016, a music and dance festival on Saturday, June 4, 2016. This festival will bring the art of music and dance to the entire community. Activities will include:

- Different DJs (i.e. Top40)
- Live Bands
- Street Performers
- Area Dance Schools
- Vendors (providing food and drink)
- Various Organizations (with booths)
- Bouncy Castle (for small kids)

The Alamogordo Club for Teens has reserved the Roller Derby rink for this event. We are asking the City of Alamogordo to provide the electric lighting free-of-charge and the use of the City-owned stage, free-of-charge.

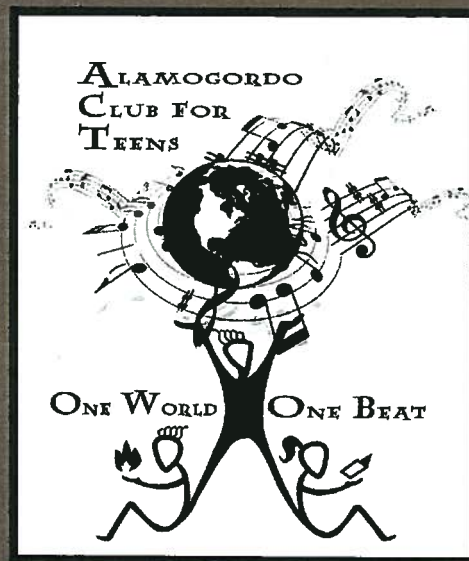
Thank you for your consideration,

Ingo Hoepfner
Founder and President of Alamogordo Club for Teens

MASTER PLAN

ALAMOGORDO CLUB FOR TEENS

501 3 (c) NONPROFIT CORPORATION
A PUBLIC CHARITY under 170(b)(1)(A)(VI)



Alamogordo Club For Teens
1111 10th Street #533
Alamogordo, NM 88310

ACT88310@gmail.com
(575) 551-8186

ACT = Acknowledge-Create-Teach

Purpose of Presentation



- To **Inform** local Government and Citizens about ACT.
- To **Gain** Support for future events and projects.
- To **Excite** the public about the potential of this program.
- To **Bring** the future to Alamogordo and the surrounding communities by providing a cutting-edge, green, self-sustainable facility.
- To **Start** a new trend in non-profit organizations.

Overview



- ☐ Our Mission
- ☐ Acknowledge
- ☐ Create
- ☐ Teach
- ☐ Our Vision
- ☐ Value Statement
- ☐ What we do
- ☐ Our Team
- ☐ Our Goals
- ☐ Budget

Our Mission



- Our mission is to provide a fun, secure place for young adults between the ages 13 and 18 to learn, develop, and grow.

- ▣ These are our three main areas of focus:
 - Acknowledge young adults by providing positive influences and environments.
 - Create an environment that helps teens to explore and pursue their passions.
 - Teach them important life skills.

Our Vision



- Our vision is to be the model of a positive young adult program throughout New Mexico.

Value Statement



- **We value** the vision and creativity of young adults.
- **We value** learning.
- **We value** positive role models and influences.
- **We value** the environment.
- **We value** Public/Private partnerships.

What we do



- **We support** young adults in dealing with information and knowledge.
- **We promote** the development of a positive culture and active participation of these young adults.
- **We encourage** young adults to get involved and use their creativity to enhance the Alamogordo Club for Teens environment.
- **We give** these young adults the tools to create a positive environment that will not only benefit the members but will also benefit the community.

Why we do it



- Researchers state that during the ages of 12-15, adolescents are developing an identity apart from their family. They **NEED** to have a outlet to evaluate their concepts of the world and ACT provides that.
- Research also shows that the ages of 15-18 is when 50% of our future aspirations are developed. They **NEED** to have a positive influence during this time frame to become future productive citizens not a negative statistic and ACT provides that.

Our Team



- **Ingo Hoeppner - Founder/President**
 - ▣ Office Administrator for German Air Force
- **Vivian Smith - Director**
 - ▣ Small Business Owner, Heritage Salon
- **Cecelia Bernal – Director**
 - ▣ NMSU Student completing her Master's Degree in Social Work
- **Theda Harshey - Advisor**
 - ▣ Small Business Owner, Direct Mail Service
- **Tony Lueras – High School Student**
 - ▣ Event Coordinator
- **Christine Turner – Treasurer**
 - ▣ Office Administrator for German Air Force
- **Leah Nelson – Bookkeeper**
 - ▣ Office Administrator for U.S. Air Force
- **Jeannette Burns - Board Member**

Our Goals in 2016

- ✓ ☒ Build an active board for ACT
- ✓ ☒ Created a Facebook page (www.facebook.com/act88310)
- ✓ ☒ Filed and received Nonprofit status in New Mexico
- ✓ ☒ Filed for EIN Number from the IRS
- ✓ ☒ Filed and received Public Charity Status with the IRS (501c3)
- ☐ Build partnerships in our Community (In process)
- ☐ Apply for Grants (In process)
- ☐ Create an events Calendar for the summer of 2016 (In process)
- ☐ Build web page (In process)
- ☐ Reach out to young adults in our Community (In process)
 - ☐ (2016) Earth Day Fair and Art in the Park
- ☐ Find a location for Alamogordo Club For Teens (In process)
- ☐ Establish classes, programs and events (In process)

Our Building Goals in 2016/2017



- Our plan is to build a self-sustainable, green facility where the Club can be run in an environmentally friendly and cost efficient way.
 - ▣ Obtain a land donation of 2+ acres with water.
 - Map and plan buildings and areas.
 - Clear parts of the property to plant fruit trees, a garden and a picnic area.
 - Contact builder to plan a cost efficient and environment friendly building.
 - Find donors and/or sponsors to build facilities.
 - ▣ Apply for grants that make our vision a reality.

Projected Start-up Budget



□ Insurance for Jun 2016/2017	\$2,000
□ Events Spring/Summer 2016	\$3,000
□ <u>Temporary Home for ACT:</u>	
□ Rent and utilities	\$16,000
□ Office furniture and supplies	\$4,000
□ Furniture for Youth Club Area	\$2,000
□ Renovation	\$4,000
□ Total goal	<u>\$31,000</u>

Projected Operating Budget for the 1st Year with a Staff of 3 employees

☐ Rent	\$9,680
☐ Electric	\$3,000
☐ Water	\$540
☐ Phone	\$2,200
☐ Internet	\$580
☐ Salaries	\$33,540 (3 part-time employees)
☐ Social Security	\$3,700
☐ Workmen's Comp	\$1,182
☐ Health insurance	\$6,000
☐ Liability	\$4,000
☐ Office Supplies	\$3,000
☐ Advertising	\$6,000
☐ Event budget	\$3,000
Total	\$ 76,442/year,
Monthly Total	\$6,368.50/month

ACT = Acknowledge-Create-Teach



Acknowledge:

- ❑ Youth need an outlet to learn and grow.
- ❑ Alamogordo does not have a program to meet the needs of many middle school and high school youth.
- ❑ By creating ACT we are providing an atmosphere to provide positive direction for our youth.
- ❑ ***Our Youth are our future.***

ACT = Acknowledge-Create-Teach



Create:

- Children have an ability to be more creative than adults and that creativity can be fostered into a skill.
- We will create a program for middle school and high-school aged youth to address their needs.
- We will create an environment where youth ideas for governing and running a program are heard and utilized.

ACT = Acknowledge-Create-Teach



Teach:

- ▣ Life Skills: gardening/farming, cooking, building/re-using materials, and using alternative energy (such as solar power, electric cars, and wind energy).
- ▣ Computers: Using Software and Hardware.
- ▣ Music: Playing instruments, Developing vocals, and learning styles, including DJ-ing.
- ▣ Art: Painting, Photography and Sculpturing.
- ▣ Tutoring: Peer-to-peer help with school studies.
- ▣ Current Events: Discussion groups on current community, state, country, and world affairs.

AGENDA REPORT

CITY OF ALAMOGORDO

CITY COMMISSION

Meeting Date: 04/12/2016

Report Date: 4/8/2016

Report No: 2.

Submitted By: Mikel Ward, Fire Chief

Subject: Presentation of an overview of the consolidation of the City of Alamogordo's Public Safety Answering Point (PSAP), and an update of current consolidation efforts. *(Mikel Ward, Fire Chief)*

Fiscal Impact:

Amount Budgeted:

Fund:

Additional Fiscal Impact:

Recommendation:

Background: The City of Alamogordo has been working with our neighboring governmental entities for many years to find a solution to the needs for Public Safety Answering Point (PSAP) consolidation. On January 8th, 2014, through a joint meeting of participating governmental representatives, staff was directed to work with the neighboring governmental entities to consolidate the public safety answering points of the City of Alamogordo, Otero County, the Village of Cloudcroft, and the Village of Tularosa into a single public safety answering point.

Staff desires to present an update to the ongoing efforts, and provide information regarding public safety answering point consolidation needs and benefits.

PUBLIC SAFETY ANSWERING POINT (PSAP) CONSOLIDATION

INFORMATION AND UPDATE

12 April 2016 City of Alamogordo Commission
Presentation

► Introductory Remarks

► What is a Public Safety Answering Point?

- Definition: A public-safety answering point (PSAP), is a 24 hours local communications facility responsible for answering 9-1-1 calls and directly dispatches emergency response services (police, firefighting, and ambulance services).

► What Public Safety Answering Points are involved?

- City of Alamogordo Police/Fire Department Dispatch
- Otero County Sherriff's Office Dispatch Center

PSAP CONSOLIDATION INFORMATION

► **What does a PSAP Do, and what are our current service level?:**

► **City of Alamogordo Police/Fire Department Dispatch:**

- 13 Dispatch Telecommunicators, Handling approx. 20,500 9-1-1 calls per year.

► **Otero County Sherriff's Office Dispatch Center**

- 12 Full-Time and 4 Part-Time Dispatch Telecommunicators; handling approx 9800 9-1-1-calls per year.

► In addition to handling 9-1-1 calls, both PSAP's:

- Dispatch emergency services
- Answering administrative lines,
- Monitoring video and audio surveillance and alarms
- Managing and Handling of Warrants

PSAP CONSOLIDATION INFORMATION

► **Current Problems to be addressed:**

- Improved Service Delivery to Citizens
- Improved Communications Between Emergency Response Services
- Permit Application to E-911 Fund Act monies from the New Mexico Department of Finance Administration
- Eliminate redundancy of services (Better Utilization of Staff, Funding, and other Resources)

PSAP CONSOLIDATION INFORMATION

► **Solutions?**

- ✓ Request Exception to Consolidation Requirements of DFA under 10.6.2.15.C

► **Consolidation of Alamogordo and Otero County PSAPs**

- Request special approval for City of Alamogordo Police/Fire Dispatch determination as the Consolidated PSAP for Otero County.
- Take No Action

PSAP CONSOLIDATION INFORMATION

► **What will it take to Consolidate PSAP's**

1. Identify Governance Structure
2. Share Equipment/Facilities
3. Determine Joint Funding
4. Share/Consolidate employees

PSAP CONSOLIDATION INFORMATION

► **What are the current issues for Consolidation?**

1. **Determine Governance Structure**

- What government will PSAP fall under?
 - Staff recommends independent authority
- What is the management/oversight structure?
 - Staff recommends joint board and committee
- Who will be board chairman?

2. **Share/Consolidate employees**

- How will employees be managed and by whom?
- Ensuring employees are treated properly in consolidation
 - Employees will be transferred to authority, who will set salary and benefits for approval in budget.

3. **Otero County Sheriff's Warrant Requirements**

4. **How will ancillary services be handled?**

PSAP CONSOLIDATION INFORMATION

► **Current Draft Joint Powers Agreements**

- 2015 "PSAP Group" Final Draft
- City of Alamogordo/Otero County Sheriff draft

► **Political Issues**

- Governance
- Chairman
- Employees
- Warrant Storage
- Ancillary Service Issues
- Possible Budget Issues

PSAP CONSOLIDATION INFORMATION

AGENDA REPORT

CITY OF ALAMOGORDO

CITY COMMISSION

Meeting Date: 04/12/2016

Report Date: 3/24/2016

Report No: 3.

Submitted By: Nancy Jacobs, City Clerk

Subject: Approve the Minutes for March 22, 2016 Regular City Commission Meetings. *(Nancy Jacobs, City Clerk)*

Fiscal Impact:

Amount Budgeted:

Fund:

Additional Fiscal Impact:

Recommendation: Approve the minutes.

Background: This is required per the Open Meetings Act.

**CITY OF ALAMOGORDO, NEW MEXICO
CITY COMMISSION REGULAR MEETING MINUTES
7:00 P.M., COMMISSION CHAMBERS
MARCH 22, 2016**

**RICHARD BOSS, MAYOR
JASON BALDWIN, COMMISSIONER
NADIA SIKES, COMMISSIONER
JENNY TURNBULL, COMMISSIONER
SUSAN PAYNE, COMMISSIONER**

**AL HERNANDEZ, MAYOR PRO-TEM
ERICA MARTIN, COMMISSIONER
GEORGE STRAFACE, INTERIM CITY MANAGER
STEPHEN THIES, CITY ATTORNEY
NANCY JACOBS, CITY CLERK**

CALL TO ORDER / ROLL CALL / INVOCATION / PLEDGE OF ALLEGIANCE

Mayor Boss called the meeting to order at 7:00 p.m. Roll Call was taken by the City Clerk. Clerk Jacobs announced there was a quorum present. Invocation was given by Rev. Dustin Wilhite and the Pledge of Allegiance was led by Commissioner Martin.

APPROVAL OF AGENDA

Mayor Boss announced Item 8 would be withdrawn from the agenda.

Mayor Pro-Tem Hernandez moved to approve the amended agenda. Commissioner Baldwin seconded the motion. Motion carried with a vote of 7-0-0.

PRESENTATIONS

1. Presentation of plaques to outgoing City Commissioners.

Commissioner Sikes and Mayor Pro-Tem Hernandez presented former Mayor Pro-Tem Rentschler and his wife with plaques to honor their service to the City of Alamogordo.

PUBLIC COMMENT

Mike Elliott commented on the following:

Mr. Elliott asked the Commission to think about supporting the summer movie series at the White Sands Theater.

CITY MANAGER'S REPORT

Interim City Manager Straface made the following remarks:

1. He highlighted the following dates:

Budget Hearing Workshop - April 5th at 6:30 pm

Second Budget Hearing Workshop - April 21st at 6:30 pm

Required Public Hearing – May 5th

3. He noted the City was working with the Hunger Coalition to try and establish a location at Public Housing for them have a food bank. A lease will be coming before the Commission in a future meeting.

4. Dr. Straface mentioned an ordinance concerning social hosting to govern the use of alcohol and drugs by minors in our community would possibly be coming before the Commission in the near future.

5. He said they received 12 applications for police chief. He met with District Attorney Ceballes to organize the search, and the committee would recommend the finalists to the City Manager.

6. He announced the Commission agreed to begin commission meetings at 6:30 pm and recommended they begin the first meeting in May.

7. He encouraged the Commission to visit the Tularosa Basin Historical Museum.

REMARKS AND INQUIRIES BY THE CITY COMMISSION

Commissioner Turnbull made the following remarks:

She thanked Public Works Director Cesar and his staff for putting up the school zone light on Cuba Ave.

Mayor Pro-Tem Hernandez made the following remarks:

He thanked Public Works Director Cesar and his staff for fixing a sewer over the weekend. He thanked the staff that cleaned up the skate park and he mentioned if the graffiti continues, he would like to have the skate park removed.

CONSENT AGENDA

2. Approve the Minutes for February 23, 2016 & March 8, 2016 Regular City Commission Meetings.
(Nancy Jacobs, City Clerk)

3. Approve Special Dispenser Permit Application and a Temporary Alcoholic Beverage Dispenser's License for Carino's for the Downtown Merchants Assoc. Cosplay Festival on April 30th, 2016 on New York Avenue. *(Nancy Jacobs, City Clerk)*

4. Consider, and act upon, award of RFQ No. 2016-01 Engineering Design Services for FY2016 Street Maintenance Program. *(Edward Balderrama, Project Manager)*

5. Consider, and act upon, bid award IFB 2016-04 to AggTec in the amount of \$56,300 for the purchase of concrete to be utilized by various departments. *(Barbara Pyeatt, Chief Procurement Officer)*

6. Consider, and act upon, the placement of a new Resident Parking Only sign for home located at 804 15th Street. *(Nancy Jacobs, Deputy Clerk)*

Mayor Pro-Tem Hernandez moved to approve items #2, 3, 4, 5 and 6 of the consent calendar. Commissioner Baldwin seconded the motion. Motion carried with a vote of 7-0-0.

NEW BUSINESS

7. Consider, and act upon, a request by Wendell J. Lang, 1002 Cauthen Ln., disputing a water bill caused by a leak which occurred during a medical emergency. *(Mark Threadgill, Customer Service Manager)*

Ms. Lang and her daughter Latonya Chamber came before the Commission to explain they were in the hospital and had been unaware of the water leak. They were approved for \$4,000 leak abatement that left a \$3,000 balance. Ms. Chamber said they still had to fix the rest of the leak and could not afford to pay \$500 a month and their regular water bill. They requested an extension to pay the balance.

Commissioner Baldwin asked Customer Service Manager Threadgill if his recommendation was to not approve this action because the leak abatement was processed. Mr. Threadgill said yes; someone at the property was notified of the leak and Water Billing turned the water off. The water somehow came on and Water Billing turned it back off and put a lock on the water meter. When the customers came in to submit a leak abatement, it was approved. He mentioned there was still a water leak at the property. Interim City Manager Straface asked if the six month payment was within policy. Mr. Threadgill said yes, it was an informal policy.

Mayor Pro-Tem Hernandez asked the Lang's if they were willing to pay the balance. Ms. Chamber said they were willing; they just couldn't pay it within six months. He said his concern was they still had leaks to be fixed, as well as keeping the water on at more of a cost. He recommended they set up a payment plan with

Water Billing and advised them to take care of the leaks first. Interim City Manager Straface recommended a 12 month payment plan.

Mayor Pro-Tem Hernandez moved to approve the customer first fix the water leak/s at the property, and the customer set up a payment plan with Utility Billing not to exceed 12 months to satisfy their outstanding bill, taking into account any water billing accrued during that period. If the bill is not paid within that period of time, the customer will be required to come back before the commission to evaluate their progress. Commissioner Martin seconded the motion. Motion carried with a vote of 6-0-1. Commissioner Payne excused herself from the vote.

8. Consider, and act upon, the first publication of Ordinance No. 1510 Amending Certain Sections of the Personnel Manual Relating to Corrective Action and Grievances. (Stephen Thies, City Attorney) WITHDRAWN

9. Consider, and act upon, Resolution No. 2016-11 concerning submission of an application to the New Mexico Finance Authority for refunding of the City's outstanding Series 2004 bonds and infrastructure project approval. (LeeAnn Nichols, Finance Director) (Roll Call Vote required)

Finance Director Nichols said what they were presenting was a loan application to the New Mexico Finance Authority to refinance the 2004 Gross Receipts Tax Revenue Bond. This would generate new money, approximately \$4.5 million.

Erik Harrigan from RBC Capital Markets presented a preliminary debt overview. Mayor Pro-Tem Hernandez asked for the City's current bond rating, and was told it was A-1 on the State Shared Gross Receipts tax and AA-2 on General Obligation Bonds. Mr. Harrigan said they believe the New Mexico Finance Authority provides a lower interest rate to the City. (See the Agenda Book)

Commissioner Baldwin asked Director Nichols if the refinancing of the bonds was solely for the two projects. She said yes, flood control was priority and then the pool cover.

Mayor Pro-Tem Hernandez moved to approve Resolution No. 2016-11 concerning submission of an application to the New Mexico Finance Authority for refunding of the City's outstanding Series 2004 bonds and infrastructure project approval. Commissioner Turnbull seconded the motion. Roll call vote was taken. Motion carried with a vote of 7-0-0.

10. Consider, and act upon, Appointments of Elected Officials to various Outside Agency Boards & Committees. (Nancy Jacobs, City Clerk)

Commissioner Baldwin volunteered for the Chamber of Commerce Committee, and Commissioner Payne volunteered as alternate.

Commissioner Baldwin volunteered for OCDEC, and Commissioner Payne volunteered as alternate.

Commissioner Sikes volunteered for the CHIWAHA Board, and Mayor Pro-Tem Hernandez volunteered as alternate.

11. Appointments to Boards and Committees. (Richard Boss, Mayor)

Mayor Boss read the openings and appointed Eddie Kemp to the Planning and Zoning Board. No one was opposed.

Pamela Lee, the Planning & Zoning Chairperson noted Eddie Kemp had previously served on the Commission.

WORK SESSION

12. Topic: COA Street Maintenance Program

City Engineer Chris Darnell spoke on the Five Year Street Maintenance Program (SMP). Project Manager Edward Balderrama presented the Five Year Street Program map. (See the Agenda Book)

Interim City Manager Straface said they had looked at the project carefully and recommended the Commission approve the plan.

Commissioner Baldwin asked the cost of each project. Mr. Balderrama pointed out on the map that the red was \$2.6 million, the green was \$3.2 million, and he did not have estimates for Projects 1, 2, 3, and 4. Commissioner Baldwin asked if there were any roads in the City that were not paved, and he was told there were, but it wasn't known how many. Public Works Director Cesar mentioned past Commission direction for the SMP was to go back in with the type of surface that was on the road way, so if it was a dirt road they maintained it as a dirt road. Commissioner Baldwin asked if traffic counts were still being used. Mr. Balderrama said they have window surveys not traffic counts. Commissioner Baldwin said he would like the Commission to readdress dirt roads. Mayor Pro-Tem Hernandez mentioned that some streets in the City were paved and the residents paid for the paving. He said it would not be fair to pave roads and the City pay for them, when past residents paid for their own.

Mayor Pro-Tem Hernandez noted Hubbard Dr was on the SMP and asked if it included the bridge. Mr. Balderrama said they had not identified it yet.

Commissioner Payne asked Mayor Pro-Tem Hernandez to explain about the dirt roads that residents paid for. He told her some residents paid for the paving and when they were on a corner lot they paid for two sides.

Commissioner Baldwin moved to move forward with City of Alamogordo Street Maintenance Program. Commissioner Martin seconded the motion. Motion carried with a vote of 7-0-0.

EXECUTIVE SESSION (Roll Call Vote Required)

13. Adjourn into Executive Session in compliance with Section 10-15-1(H), NMSA 1978 (as amended), to discuss Collective Bargaining Negotiations (APSOA). (Roll Call Vote required)

Commissioner Baldwin moved to adjourn into Executive Session to discuss Collective Bargaining Negotiations (APSOA) at 8:12 p.m. Commissioner Hernandez seconded the motion. Roll call vote was taken. Motion carried with a vote of 7-0-0.

ADJOURNMENT

Mayor Richard Boss

ATTEST:

City Clerk Nancy E. Jacobs

(Prepared by Rachel Hughs, Deputy City Clerk)
Approved at the Regular Meeting held on April 12, 2016.

AGENDA REPORT

CITY OF ALAMOGORDO

CITY COMMISSION

Meeting Date: 04/12/2016

Report Date: 4/8/2016

Report No: 4.

Submitted By: Nancy Jacobs, City Clerk

Subject: Approve the statement related to the Executive Session held on March 22, 2016. *(Nancy Jacobs, City Clerk)*

Fiscal Impact:

Amount Budgeted:

Fund:

Additional Fiscal Impact:

Recommendation: Approve the following statements authorize them to be included in the minutes of March 22, 2016: "The Governing Body of the City of Alamogordo, New Mexico, hereby states that on February 9, 2016 a Closed Executive Session was held during the Regular Meeting and matters discussed in the closed meeting were limited only to: discuss collective bargaining negotiations (APSOA)"

Background: The statement is required per the Open Meetings Act.

AGENDA REPORT

CITY OF ALAMOGORDO

CITY COMMISSION

Meeting Date: 04/12/2016

Report Date: 4/7/2016

Report No: 5.

Submitted By:

Subject: Consider, and act upon, award of RFQ No. 2016-02, Engineering and Design Services for North Scenic Drive Extension to Mesa Verde Ranch Road, to Smith Engineering Co. (*Brian Cesar, Public Works Director*)

Fiscal Impact: Agreement to be negotiated - not to exceed an estimated amount of \$125,000.00, including tax

Amount Budgeted: \$3,700,000.00

Fund: 109-9003-430.65-29

Additional Fiscal Impact:

Recommendation:

Approve the award and authorize staff to negotiate a professional design services agreement and fee structure.

Background: The Consultant's scope of work will include the planning, design, and preparation of bid-ready plans, specifications, and estimates for the North Scenic Drive Extension to Mesa Verde Ranch Road. The Consultant will develop surveys, alignment plans, provide right-of-way and property acquisition mapping, drainage analyses, and coordinate with NMDOT and UPRR for permitting requirements.

The RFQ was advertised on February 28, 2016. Four (4) responsive proposals were received on March 24, 2016: Smith Engineering Co.; Souder, Miller & Associates; Ideals, Inc.; and OCCAM/EC Consulting Engineers, Inc.

As a result of the evaluation process, Smith Engineering Co. was selected for award. RFQ 2016-02 and the submitted proposals are available in the City Clerk's office. The composite score sheet is attached.

CITY OF ALAMOGORDO
COMPOSITE SCORE SHEET
Collaborative Forest Restoration Program - NEPA Environmental Services
February 11th 2015
RFQ NO. 2015-01

Factor	Available Points per Vendor	5 Committee Members	Smith Engineering Co.	Souder, Miller & Associates	OCCAM/EC	Ideals, Inc.
1	150	Specialized Design and Technical Competence	131	128	122	106
2	75	Capacity & Capability	61	62	66	52
3	75	Past Record of Performance	70	64	58	50
4	125	Apporach to providing the Services	103	102	95	92
5	25	Proximity to or Familiarity with the Alamogordo Area	23	24	20	22
6	25	The amount of design work that will be produced by a New Mexico business with in this state	25	25	20	20
7	25	Current Value of Work with City of Alamogordo	25	5	25	15
8	0	Preference - Local State & Veterans	21.9	20.5	20.3	17.85
Total Available						
	500	Accumulated Score	459.9	430.5	426.3	374.85
Total Rank			1	2	3	4

AGENDA REPORT

CITY OF ALAMOGORDO

CITY COMMISSION

Meeting Date: 04/12/2016

Report Date: 4/8/2016

Report No: 6.

Submitted By: Veronica Ortega, Senior
Center Manager & Interim City Manager

Subject: Consider, and act upon Memorandum of Understanding between the City of Alamogordo and Lincoln County concerning Bonito watershed restoration and improvements. (*Veronica Ortega, Community Services Director*)

Fiscal Impact:

Amount Budgeted:

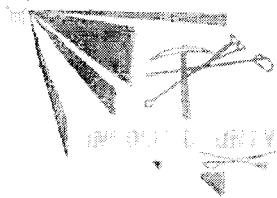
Fund:

Additional Fiscal Impact:

Recommendation: Approve Memorandum of Understanding

Background: In 2013 the NM State Legislature authorized a capital outlay expenditure of \$74,000 to plan, design, renovate, construct and equip watershed restoration and improvements to roads, facilities, campgrounds and the site for the Bonito Lake Watershed in Lincoln County. However, the language should have identified the City of Alamogordo as the project recipient as we are the official owner of the Bonito Lake Watershed.

Request to approve the Memorandum of Understanding so that these funds can be reverted to the City of Alamogordo.



County of Lincoln

P.O. Box 711 300 Central Ave. Carrizozo, New Mexico 88301-0711 (575) 648-2385

www.lincolncountynm.gov

March 16, 2016

The Honorable Richard Boss
Mayor, City of Alamogordo
1376 E. Ninth Street
Alamogordo, NM 88310

RE: MOU Between City of Alamogordo and Lincoln County

Dear Mayor Boss:

At their regularly scheduled monthly meeting of March 15, 2016, the Board of County Commissioners approved the above agreement. If you agree to the attached agreement, please sign and forward us a fully executed copy for further processing.

Should you need additional information, please feel free and contact me at 575-648-2385x100.

Sincerely,

Billie-Jo Guevara
Administrative Assistant
Human Resources Director

**MEMORANUM OF UNDERSTANDING
BETWEEN THE CITY OF ALAMOGORDO
AND LINCOLN COUNTY**

This Memorandum of Understanding is entered into by and between the City of Alamogordo, New Mexico and the County of Lincoln, New Mexico for purpose of clarifying and resolving an apparent ambiguity in relation to Severance Tax Bond Project Series Number STB13A with the New Mexico Department of Finance and Administration – Local Government Division, in order to allow said project to move forward and be fully implemented.

WHEREAS, in 2013 the New Mexico State Legislature authorized a capital outlay expenditure of “seventy-four thousand dollars (\$74,000) (the “Funds”) to plan, design, renovate, construct and equip watershed restoration and improvements to roads, facilities, campgrounds and the site for the Bonito Lake watershed in Lincoln county” in Senate Bill 60 (the “Project”), which later was approved by New Mexico Governor Susana Martinez and became a legal decree; and,

WHEREAS, the project has stood in limbo with New Mexico Department of Finance and Administration – Local Government Division (“DFA”), because although the legislative language identified the project to be Lincoln County, it technically failed to identify the City of Alamogordo as the project recipient; and,

WHEREAS, given that the City of Alamogordo is the official owner of the Bonito Lake Watershed and that both parties agree that the legislative appropriation is a well-worth project that will contribute in the restoration of the devastation that the Bonito Lake Watershed underwent in 2012 due to The Little Bear Fire; and,

WHEREAS, the parties wish to formalize an agreement between the City of Alamogordo and Lincoln County regarding Severance Tax Bond Project Series Number STB13A.

NOW THEREFORE, the parties mutually agree as follows:

1. Lincoln County hereby agrees that the Funds can be transferred to the City.
2. The City agrees to implement and operate the Project, in accordance with the terms of any grant agreement and any requirements imposed by DFA. The City shall use the Funds solely for the purposes and activities of the Project, as approved by DFA. All grant agreements or other commitments with DFA shall be executed by the City. The City will provide all information and prepare all reports, including interim and final reports, required by DFA. The City will maintain all financial records relating to the Project in accordance with the terms of the grant agreement.
3. This agreement will become effective when both parties have signed it. The date this agreement is signed by the second party to sign it (as indicated by the date associated with that party’s signature) will be deemed the date of this agreement. If a party signs but fails to date a signature, the date that the other party receives the signing party’s signature will be deemed to be the date that the signing party signed this agreement. This agreement shall remain in effect until six months after completion of the Project, but no later than the end of fiscal year 2017, or until earlier terminated according to the provisions of any grant agreement. In the event this

Agreement is terminated, Lincoln County and the City will comply with any termination conditions imposed by DFA.

IN WITNESS WHEREOF, the City of Alamogordo and Lincoln County do hereby execute the Memorandum of Understanding as of the last date below

CITY OF ALAMOGORDO

BY: _____
Richard Boss, Mayor

Date: _____

ATTEST

Nancy Jacobs, City Clerk

APPROVED AS TO FORM;

Stephen P. Thies, City Attorney

COUNTY OF LINCOLN

BY: _____
Preston Stone, Chairman

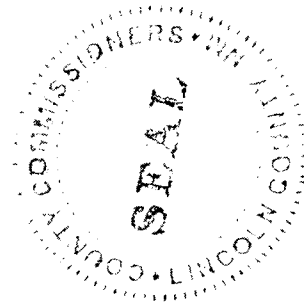
Date: 3-15-16

ATTEST

Rhonda Burrows, County Clerk

APPROVED AS TO FORM;

Alan Morel, County Attorney



AGENDA REPORT

CITY OF ALAMOGORDO

CITY COMMISSION

Meeting Date: 04/12/2016

Report Date: 4/7/2016

Report No: 7.

Submitted By: Evelyn Huff, Housing
Authority Manager

Subject: Consider, and act upon, the award of Public Works Bid No. 2016-006 to Smith Roofing , Inc. related to the Alamogordo Housing Authority Complex and Office Reroof in an amount not to exceed \$746,680.68, including NMGR. *(Evelyn Huff, Housing Authority Manager)*

Fiscal Impact: \$746,680.68

Amount Budgeted: \$771,695.86

Fund: 904-0107-463.69-05 HP1402,HP1501,HP1601

Additional Fiscal Impact:

Recommendation:

Award, Public Works Bid No. 2016-006 to Smith Roofing, Inc. related to the Alamogordo Housing Authority Complex and Office Reroof in an amount not to exceed \$746,680.68, including NMGR.

Background: This project is to re-engineer and re-roof 34 residential buildings at Alta Vista. There was also the option to re-roof the office building at Alta Vista and the three office buildings at Plaza Hacienda. The roofs at Alta Vista were originally flat roofs that had a pitched roof added on many years later. The pitched roofs were not correctly installed and the trusses were not properly stabilized. This has caused many of the trusses to sink below the edge of the original roof, creating a ponding effect that has lead to major leak issues. This project will remove the decking from the eaves and the porches and allow the contractor to build up and stabilize the ends of the trusses. The contractor will then replace the decking along this area, while also removing all of the old underlayment and shingles and installing new replacements. We are also having the contractor add turbine vents on all the houses to better vent the attics and to prolong the life of the shingles. The work along the eaves adds to the difficulty of this project, as the repair is very time consuming but necessary. The Housing Authority understood that this would cause the project to cost more than an average re-roof, so the buildings were broken up into six bid lots since it was likely the HA would not have enough funds to complete all the work

The Housing Authority received one (1) bid on March 29, 2016. Please see attached Bid Tab

BID TABULATION
Alamogordo Housing Authority Complex and Office ReRoof
PW BID 2016-006
March 29, 2016 2:00 PM
HOUSING AUTHORITY CONFERENCE ROOM

ITEM NO.	QUANTITY	DESCRIPTION	Smith Roofing, Inc.
			BID AMOUNT
Bid Lot 1	1 LS	Alta Vista Residential Units 900/902, 907/906, 908/910, 600/602, 604/606, 608/610, 612/614, 616/618, 620/622	\$220,158.00
Bid Lot 2	1 LS	Alta Vista Residential Units 1000/1002, 1004/1006, 615/613, 611/609, 607/605, 603/601, 666/664, 662/660, 658/656	\$225,424.00
Bid Lot 3	1 LS	Alta Vista Residential Units 624/626, 628/630, 632/634, 636/638, 640/642, 644/646, 648/650, 652/654, 509/507	\$212,609.00
Bid Lot 5	1 LS	Alta Vista Common Building Units 601	\$33,180.00
		SUBTOTAL	\$691,371.00
		NMGRT 8%	\$55,309.68
		TOTAL	\$746,680.68



BEFORE !



AFTER /



BEFORE 2



AFTER 2



BEFORE 3



AFTER 3

AGENDA REPORT

CITY OF ALAMOGORDO

CITY COMMISSION

Meeting Date: 04/12/2016

Report Date: 4/4/2016

Report No: 8.

Submitted By: Mikel Ward, Fire Chief

Subject: Approve an Application for the Fire Protection Fund Distribution FY17. *(Mikel Ward, Fire Chief)*

Fiscal Impact: \$413,173 (Minimum) NOTE: We received \$521,617 for FY16

Amount Budgeted: \$499,437.00

Fund: 033 Fire Protection Fund

Additional Fiscal Impact:

Recommendation: Approve application for annual participation in the Fiscal Year 2017 Fire Protection Fund Distribution

Background: This application is required to apply for annual funding from the State Fire Marshal's Office. These funds are used for supplies, equipment, training, and maintenance expenses for Alamogordo Fire Department.

The projected minimum amount for fire fund distribution is \$413,173. Funding amounts vary annually based on the health of the fund, the total distributions from the fund, and any legislative changes affecting the fund. This funding is based on our ISO Rating and the amount and type of fire stations as outlined under the Fire Protection Fund Act, 59A-53, NMSA 1978.

NEW MEXICO PUBLIC REGULATION COMMISSION

COMMISSIONERS

DISTRICT 1 KAREN L. MONTOYA, VICE CHAIR
DISTRICT 2 PATRICK H. LYONS
DISTRICT 3 VALERIE ESPINOZA, CHAIR
DISTRICT 4 LYNDA LOVEJOY
DISTRICT 5 SANDY JONES

INTERIM ACTING CHIEF OF STAFF

Andrea Delling



P.O. Box 1269
1120 Paseo de Peralta, Room 413
Santa Fe, NM 87504-1269

STATE FIRE MARSHAL DIVISION
John Standefer, State Fire Marshal

800-244-6702 (In state only)
(505) 476-0174
Fax: (505) 476-0100

FISCAL YEAR 2017 FIRE PROTECTION FUND APPLICATION

RECEIVED
FEB 29 2016
CITY CLERK

Date: March 1, 2016
To: New Mexico Municipal and County Officials
From: John Standefer, State Fire Marshal
Subject: Fire Fund Distribution Pursuant to Fire Protection Fund Act, 59A-53, NMSA 1978

Please find the enclosed application for participation in the fiscal year 2017 Fire Protection Fund for the fire departments under your jurisdiction. **For initial budget preparation purposes each application indicates the guaranteed base amount to be distributed per Article 53, 59A-53-4 and 59A-53-5.**

The application provides a complete overview of your departments Insurance Service Office (ISO) classification and number of recognized stations funded through this Office. Please review this information with the Fire Chief/Fire Marshal as their signature is required along with the Mayor, Chair of the County Commission, or authorized local government designee.

The application shall be received in this Office on or before April 30, 2016.

This application does not include any additional amounts that may be calculated from growth in the fund as the financial information indicating growth or reduction in the fire fund is not yet available. When the amount available to the Fire Protection Fund, for fiscal year 2017, is known we will forward the information to you. Nor does this application reflect any funding intercepts for loans incurred by local governments through the New Mexico Finance Authority.

Completeness of the Fire Protection Fund Application is required. Please take note of the section of the application in which we are requesting contact information for the fire department's National Fire Incident Reporting System's (NFIRS) primary users. We have made huge strides towards achieving our goal of 100% reporting of all certified fire department emergency response activities to the NFIRS program.

It is critical for this Office to have the most current contact information for these efforts as we provide our states fire service with reporting status updates and any system informational updates as they occur. Accurate email information is required for each primary user of the NFIRS program.

Thank you for your assistance.

NEW MEXICO PUBLIC REGULATION COMMISSION

COMMISSIONERS

DISTRICT 1 KAREN L. MONTOYA, VICE CHAIR
DISTRICT 2 PATRICK H. LYONS
DISTRICT 3 VALERIE ESPINOZA, CHAIR
DISTRICT 4 LYNDY LOVEJOY
DISTRICT 5 SANDY JONES

INTERIM ACTING CHIEF OF STAFF
Andrea Delling



P.O. Box 1269
1120 Paseo de Peralta
Santa Fe, NM 87504-1269

STATE FIRE MARSHAL DIVISION
Room 413
800-244-6702 (In-state only)
(505) 476-0174
Fax : (505) 476-0100

NEW MEXICO STATE FIRE MARSHAL DIVISION

FISCAL YEAR 2017 MUNICIPAL FIRE PROTECTION FUND DISTRIBUTION

This application is required to participate in the distribution of the Fire Protection Fund for the 2017 fiscal year.
The application is due in the State Fire Marshal Division **on or before April 30, 2016.**

FIRE DEPARTMENT **Alamogordo**

FIRE DEPARTMENT ADDRESS: **619 Texas, Alamogordo, NM 88310**

ISO CLASSIFICATION: **4**

Approved number of Sub Stations is 1

Station #3	3500 Airport	NM
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Approved number of Main Stations is 6

Station #7	2010 Oregon Ave.	NM
Station #6	3100 N. Florida Ave.	NM
Station #5	1492 S. Florida	NM
Station #4	3310 E. Tenth Street	NM
Station #2	2101 S. Walker	NM
Station #1	619 Texas Ave.	NM

If you contend the above ISO Class or station information is incorrect, please attach a list of your claim of main and substations and sign here: _____

The projected minimum amount for fire fund distribution, based on the above information, is **\$413,173**. This does not include any additional amounts that may be calculated from growth in the fund.

An official written request for authorization to rollover and accumulate Fire Protection Fund monies shall be submitted to this Office no later than August 31, 2016. The request shall identify the intended purpose and exact amount of money to be carried over into the FY 2017 balance.

For the purpose of this Application, list the anticipated amount and intended purpose your department will rollover from FY'16 to FY'17. \$ _____

*Provide current balance of the fire department's total Fire Protection Fund account to date: \$ _____

The Fire Service Support Bureau of the State Fire Marshal Division continues to strive toward achieving 100% compliance with the monthly reporting requirements as established in Article 59A-52 the "Fire Marshal Act," Article 59A-53 "The Fire Protection Fund" and NMSA 10-25-10 "The Fire Protection Fund."

State Law, NMSA 10-25-10, requires all fire departments participating in the distribution of the Fire Protection Fund submit a detailed fire report of the departments activity on or before the 10th of each month for the previous months activity.

The Fire Service Support Bureau reviews all reporting activity on a monthly basis to determine compliance with the reporting requirement. When this Office determines that your fire department is out of compliance, the Fire Chief will be notified of the department's status, if your fire department fails to achieve compliance a letter identifying restrictions on the use of the Fire Protection Funds will be forwarded to the head of local government.

This Office will continue to offer technical support and training on the proper uses of the NFIRS program. If you are having issues with the system or require training you may submit your request via e-mail at vernon.muller@state.nm.us

Please provide updated contact information for a minimum of two primary users of the NFIRS program for your department. (Please print legible)

<u>Name:</u>	<u>Email:</u>	<u>Phone:</u>
1.		
2.		

The information contained in this application is true and correct to the best of our knowledge. It may be used to verify legal requirements and is subject to audit.

Signed and submitted on this _____ day of _____, 2016.

Printed Name	/S	Signature of Mayor
Mikel Ward	/S	
Printed Name		Signature of Fire Chief

AGENDA REPORT

CITY OF ALAMOGORDO

CITY COMMISSION

Meeting Date: 04/12/2016

Report Date: 4/8/2016

Report No: 9.

Submitted By: Veronica Ortega, Senior
Center Manager & Interim City Manager

Subject: Consider , and act upon, award IFB No. 2016-03 to multiple vendors, in amount not to exceed \$128,434.09 related to Miscellaneous Foods, Dairy Products & Items for the Alamogordo Senior Center Nutrition Program. (*Veronica Ortega, Community Services Director*)

Fiscal Impact:

Amount Budgeted:

Fund:

Additional Fiscal Impact: *\$128,434.09

Amount available: \$36,399.69

Fund: 071-8023-445-3260 \$17,779.01
071-8024-445-3260 \$18,620.68

Recommendation: Award Price Creameries Nine (9) items for an estimated total \$13,444.80. Award Brady Industries \$1312.17. Award Two-Hundred and Nineteen (219) items for an estimated total \$113,677.12.

(*Bid amount estimated total of \$128,434.09 is based on bid quantities)

Background: IFB No. 2016-03 was advertised February 14, 2016 and opened March 22, 2016. The IFB was sent out to ten (10) prospective bidders with three (3) responsive bids received. This IFB is awarded on an "item by item" basis to the low bidder meeting specifications and requirements. Award will be fixed price, estimated quantity for a six (6) month period commencing April 30, 2016 through October 30, 2016. This bid overlaps fiscal years.

*Fiscal impact will be no more than budget. Total estimated bid of \$128,434.09 is based on maximum bid quantities. Orders are placed as items are needed, and will not exceed amount budgeted.

					Brady Industries		Prices		Shamrock Foods					
					Unit Cost	Total	Unit Cost	Total	Unit Cost	Total	Unit Cost	Total	Unit Cost	Total
1	20	cs	6 - #10/per cs	Apples-sliced-solid pk-in water					41.15	823.00				
2	20	cs	6 - #10/per cs	Applesauce, unsweetened					26.21	524.20				
3	72	cs	6 - #10/per cs	Apricot-Halves-in light syrup					48.35	3481.20				
4	45	cs	6 - #5/per cs	honey					88.03	3961.35				
5	6	cs	6 - #10/per cs	Cranberry Sauce - whole					45.69	274.14				
6	6	cs	10 #/per cs	Coconut-shredded					23.97	143.82				
7	30	cs	6 - #10/per cs	Mixed Fruit - in light syrup					32.07	962.10				
8	10	cs	6 - #10/per cs	Oranges-Mandarin-in water					23.12	231.20				
9	72	cs	6 - #10/per cs	Pears-diced-in light syrup					41.74	3005.28				
10	20	cs	1 gal btl	tabasco hot sauce					150.66	3013.20				
11	24	cs	6 - #10/per cs	Pineapple-tidbits-light syrup					30.93	742.32				
12	9	cs	6 - #10/per cs	Plums-Purple-heavy syrup					35.55	319.95				
13	4	cs	24 - 1 #/per cs	Raisins-seedless					51.17	204.68				
14	72	cs	6 - #10/per cs	Tropical-Fruit-in light syrup					44.35	3193.20				
15	5	cs	12 - 32 oz/per cs	Juice - Lemon					35.89	179.45				
16	5	cs	12 - 46 oz/per cs	Juice - Pineapple					37.78	188.90				
17	6	cs	6 - #10/per cs	Pie - Filling - Apple					37.64	225.84				
18	20	cs	2-gal/per cs	blu cheese dressing					29.49	589.80				
19	6	cs	6 - #10/per cs	Pie - Filling - Peach					58.81	352.86				
20	20	cs	2-gal/per cs	honey mustard					19.02	380.40				
21	750	#	50#/per bag	Beans - Pinto-Dry-Triple Cleaned					25.52	382.80				
22	15	cs	2/gal/per cs	A-1 sauce					78.77	1181.55				
23	6	cs	6 - #10/per cs	Beans - Ranch - Style - in sauce					33.47	200.82				

					Brady Industries		Prices		Shamrock Foods					
					Unit Cost	Total	Unit Cost	Total	Unit Cost	Total	Unit Cost	Total	Unit Cost	Total
24	20	cs	250/cs	2 gallon zip lock bag					20.81	416.20				
25	15	cs	6 - #10/per cs	Beets-Sliced-in juice					26.36	395.40				
26	30	btl	30oz	maple cinnamon					9.88	296.40				
27	15	bg	25#	butter beans					23.53	352.95				
28	15	cs	6 - #10/per cs	Peas - Blackeyed, no snaps					29.00	435.00				
29	5	cs	6 - #10/per cs	Peppers - Jalapeno - Sliced					23.12	115.60				
30	6	cs	6 - #10/per cs	Potato-Instant Granules- Complete					45.54	273.24				
31	27	cs	6 - #10/per cs	Potato - Sweet - cut - in syrup					41.67	1125.09				
32	50	cs	4/1gal/per cs	grease cutter plus					123.94	6197.00				
33	5	cs	6 - #10/per cs	Tomato - Ketchup					27.69	138.45				
34	4	cs	6 - #10/per cs	Tomato - Pizza - Sauce					25.10	100.40				
35	4	cs	6 - #10/per cs	Tomato - Spaghetti - Sauce					36.70	146.80				
36	15	cs	#	corn beef					3.39	50.85				
37	15	cs	6 - #10/per cs	Tomato - Stewed					31.32	469.80				
38	10	cs	48 - 6 oz/per cs	Juice - Tomato - low-sodium					21.14	211.40				
39	10	cs	48 - 6 oz/per cs	Juice - V8 - low-sodium					26.26	262.60				
40	70	cs	144 per/cs	eggs boiled					12.64	884.80				
41	5	cs	6 - 5#/boxes	Cake-Spice					67.11	335.55				
42	10	cs	20-loaves/per cs	whole wheat sliced bread					27.04	270.40				
43	5	cs	6 - 5#/boxes	Cake-Yellow					72.14	360.70				
44	6	cs	3 - 24 oz./per cs	Gravy - Beef - low-sodium					31.82	190.92				
45	6	cs	3 - 24 oz./per cs	Gravy - Chicken - low-sodium					27.56	165.36				
46	6	cs	3 - 24 oz./per cs	Gravy - Turkey - low-sodium					28.23	169.38				
47	6	cs	3 - 24 oz./per cs	Gravy - White - low-sodium					19.58	117.48				
48	5	cs	6 - 5#/boxes	Mix-Biscuit					32.62	163.10				

					Brady Industries		Prices		Shamrock Foods					
					Unit Cost	Total	Unit Cost	Total	Unit Cost	Total	Unit Cost	Total	Unit Cost	Total
49	5	cs	6 - 5#/boxes	Mix Potato - Augratin					48.55	242.75				
50	5	cs	6 - 5#/boxes	Mix-Stuffing-Uncle-Ben's or equal-large-bag					41.67	208.35				
51	5	sk	50 # sack	Flour-Whole-Wheat					17.49	87.45				
52	25	sk	50 # sack	Flour-White-All-Purpose					10.68	267.00				
53	10	sk	25 # sack	Cornmeal-Yellow					9.96	99.60				
54	6	36oz	25 # sack	Rice-Long-Grain-Wild					35.40	212.40				
55	10	sk	25# sack	Rice-Parboiled					12.46	124.60				
56	2	cont	5 #/cont	Baking - Powder					6.92	13.84				
57	5	cs	24 - 1#/box	Cornstarch					21.59	107.95				
58	3	cs	20 - 1#/box	Yeast					52.44	157.32				
59	10	cs	500 - 2 ct/ case	Crackers - Saltines					14.63	146.30				
60	10	cs	6 - 1 #/ case	Base - Beef - low-sodium					36.38	363.80				
61	10	cs	6 - 1 #/ case	Base - Chicken - Low-sodium					36.10	361.00				
62	10	cs	6 - 1 #/ case	Base - Turkey - Low-sodium					48.07	480.70				
63	10	cs	12 - 50 oz/case	Soup-Cream-of-Chicken					45.83	1604.05				
64	10	cs	12 - 50 oz/case	Soup-Cream-of-Mushroom					45.40	1135.00				
65	5	cs	12 - 50 oz/case	Soup-Cream-of-Tomato					34.68	520.20				
66	5	cs	24-20 oz/case	Coffee Creamer - canister					35.20	352.00				
67	5	cs	200 ct/case	PC - Ranch - Dressing					21.40	107.00				
68	5	cs	200 ct/case	PC - French - Dressing					11.79	58.95				
69	5	cs	200 ct/case	PC - Italian - Dressing					32.42	162.10				
70	5	cs	200 ct/case	PC - Thousand - Island - Dressing					11.39	56.95				
71	40	cnt	26oz	ancho seasoning					16.27	650.80				
72	5	cs	200 ct/case	PC - Assorted - Jellies					12.57	125.70				
73	5	cs	2/1250/ case	PC - Sweet-n-Low-Packets					13.73	68.65				
74	15	cs	600 ct/case	PC - Promise-Margarine-or-equal					20.41	306.15				
75	5	cs	100 ct/case	PC - Peanut Butter - Packets					39.23	392.30				
76	5	cs	100 ct/case	PC - Cheddar Cheese - Packets					NB	NB				
77	20	cs	30 - 1 #/case	Margarine - Solids					19.32	386.40				
78	4	cs	3/1gallon	Liquid Butter					31.28	125.12				
79	6	cs	35#/case	PV - Liquid -Shortening					21.04	126.24				
80	20	cs	6ct/case	Vegelele -Pan Spray - Can					16.82	336.40				
81	5	cs	24-20 oz/case	Sugar - Granulated - cannister					37.24	558.60				
82	10	sk	50 #/sack	Sugar - Granulated					20.39	203.90				
83	5	cs	12 - 2 #/case	Sugar - Brown					25.80	387.00				
84	5	cs	4 - 1 gal/case	LowFat -Coleslaw-Dressing					28.43	142.15				

					Brady Industries		Prices		Shamrock Foods					
					Unit Cost	Total	Unit Cost	Total	Unit Cost	Total	Unit Cost	Total	Unit Cost	Total
85	10	cs	6/#10 can	Tomatoe Paste					34.13	341.30				
86	10	cs	6/#10 can	Salsa/Picante Sauce					33.13	331.30				
87	5	cs	4 - 1 gal/case	LowFat - Mayonaise					24.90	124.50				
88	5	cs	18 - 3.2 oz/case	Ranch - Dressing - Mix					21.35	106.75				
89	2	cs	6 - #10/case	Mustard - Yellow - Prepared					18.86	37.72				
90	2	cs	4 - 1 gal/case	Vinegar - Distilled - White					6.21	12.42				
91	2	cs	4 - 1 gal/case	Relish - Pickle					24.64	49.28				
92	2	cs	4 - 1 gal/case	Relish - Sweet					27.31	54.62				
93	5	cs	6 - #10/case	Pudding - Chocolate - RTE					29.48	147.40				
94	5	cs	6 - #10/case	Pudding - Lemon - RTE					37.18	185.90				
95	5	cs	12 - 24 oz/case	Gelatin - Citrus					26.61	133.05				
96	5	cs	12 - 24 oz/case	Gelatin - Reds					26.61	133.05				
97	10	cs	20 #/case	Pasta - Egg-Noodles - medium					16.44	164.40				
98	10	cs	20 #/case	Pasta - Elbow-Macaroni					14.51	145.10				
99	10	cs	20 #/case	Pasta - Lasagna-Noodles					16.41	164.10				
100	10	cs	20 #/case	Pasta - Spaghetti					13.44	134.40				
101	10	cs	20 #/case	Pasta - Tri-Colored - Noodle					21.88	218.80				
102	10	cs	10 - dozen/case	Tortilla - Yellow - Corn - 6"					13.23	132.30				
103	5	cs	12 - dozen/case	Tortilla - Whole - Wheat - 6"					27.43	137.15				
104	5	cs	96 ct/case	Cereal - Cherrios-Honey-Wheat					26.78	401.70				
105	5	cs	96 ct/case	Cereal - Frosted-Flakes					26.78	401.70				
106	5	cs	96 ct/case	Cereal - Golden-Grahams					26.78	401.70				
107	5	cs	48 ct/case	Cereal - Instant-Oatmeal - Packets					10.22	102.20				
108	2	cs	24 #/case	Cereal - Oatmeal - Quick - Cook					37.56	75.12				
109	25	cont	10#	whole peeled garlic cloves					55.21	1380.25				
110	1	cont	16 oz ea.	Spice - Extract - Almond					6.82	6.82				
111	1	cont	16 oz ea.	Spice - Extract - Lemon					22.04	22.04				
112	1	cont	16 oz ea.	Spice - Extract - Vanilla					5.24	5.24				
113	5	cont	3 # cont	Spice - Flakes - Onion					7.31	36.55				
114	15	bag	25#bag	bread crumbs panko					17.98	269.70				
115	5	cont	3 # cont	Spice - Granulated - Garlic					24.20	121.00				
116	1	cont	16 oz ea.	Spice - Ground - Cinnamon					8.02	8.02				
117	25	cs	12/1#boxes	cornflake crumbs					38.05	951.25				
118	1	cont	16 oz ea.	Spice - Ground - Cumin					11.43	11.43				
119	25	cs	12/doz per-cs	flour tortilla 12 inch					21.64	541.00				
120	1	cont	16 oz ea.	Spice - Powder - Chile					8.92	8.92				
121	45	cs	120ct	buns burger 3 -4 inch					22.74	1023.30				

					Brady Industries		Prices		Shamrock Foods					
					Unit Cost	Total	Unit Cost	Total	Unit Cost	Total	Unit Cost	Total	Unit Cost	Total
122	10	cont	16 oz ea.	Spice - Powder - Onion					7.28	72.80				
123	1	sk	25 #	Spice - Salt - Plain					7.06	7.06				
124	1	cs	4 - 1 gal/case	Spice - Sauce - BBQ (like cattlemens)					31.76	31.76				
125	6	cs	6 - #10/case	Spice - Sauce - Cheese - Nacho					36.20	217.20				
126	10	cont	5oz	spice chives					30.25	302.50				
127	1	cs	4 - 1 gal/case	Spice - Sauce - Soy					35.44	35.44				
128	20	cont	20oz	Spice - Seasoning-lime pepper					16.20	324.00				
129	1	cs	4 - 1 gal/case	Spice - Sauce - Teriyaki					44.03	44.03				
130	1	cs	4 - 1 gal/case	Spice - Sauce - Worcestershire					29.69	26.69				
131	5	cont	16 oz	Spice - Seasoning - Big & Bold Mont.					11.71	58.55				
132	5	cont	16 oz	Spice - Seasoning - Italian Blend					8.36	41.80				
133	1	cont	16 oz	Spice - Seasoning - Mrs. Dash					49.66	49.66				
134	15	cont	26oz	Spice - Seasoning smokey mesquite					16.30	244.50				
135	20	cont	20oz	Spice - Seasoning - north woods chicken					8.20	164.00				
136	2	cs	48 ct/case	Disposable - Shaker - Salt					15.70	31.40				
137	2	cs	48 ct/case	Disposable - Shaker - Black - Pepper					61.36	122.72				
138	10	cs	12 - 2.5 #/case	Frozen-Veg-Broccoli-Cuts					25.41	254.10				
139	15	cs	12 - 2.5 #/case	Frozen-Veg-Broccoli-Normandy					36.97	554.55				
140	15	cs	12 - 2.5 #/case	Frozen-Veg-Brussel-Sprouts					27.67	415.05				
141	15	cs	12 - 2.5 #/case	Frozen-Veg-Capri-Mix					23.06	345.90				
142	15	cs	12 - 2 #/case	Frozen-Veg-Carrots-Baby					24.73	370.95				
143	15	cs	12 - 2 #/case	Frozen-Veg-Cauliflower					26.02	390.30				
144	15	cs	12 - 2.5 #/case	Frozen-Veg-Corn-Chuckwagon					24.15	362.25				
145	15	cs	12 - 2.5 #/case	Frozen-Veg-Corn-Whole-Kernal					26.79	401.85				
146	15	cs	12 - 2 #/case	Frozen-Veg-Green-Beans-Cut					27.67	415.05				
147	15	cs	5 - 5 #/case	Frozen-Veg-Green-Chile-Chopped-Mild-Roasted (like young guns)					22.83	342.45				
148	15	cs	12 - 2.5 #/case	Frozen-Veg-Italian-Mix					24.02	360.30				
149	5	cs	12 - 2.5 #/case	Frozen-Veg-Stir-Fry-Mix					26.65	133.25				
150	15	cs	12 - 2.5 #/case	Frozen-Veg-Mixed-Vegetables					27.94	419.10				
151	6	cs	12 - 2.5#/case	Frozen -Veg-Breaded-Onion Rings					47.31	283.86				
152	15	cs	12 - 2.5 #/case	Frozen-Veg-Peas and Carrots					26.58	398.70				
153	15	cs	6 - 5 #/case	Frozen-Veg-Potato-French-Fries					18.75	281.25				
154	15	cs	6 - 5 #/case	Frozen-Veg-Potato-Tater-Tots					26.48	397.20				
155	15	cs	5 - 5 #/case	Frozen-Veg-Potato-Sweet-Potato-Fries					25.09	376.35				
156	15	cs	6 - .5 gal/c	Frozen-Veg-Red-Chile-Sauce-Mild					19.41	291.15				
157	15	cs	12 - 2.5 #/case	Frozen-Veg-Scandinavian-Mix					34.68	520.20				
158	15	cs	12 - 3 #/case	Frozen-Veg-Spinach-Chopped					31.75	476.25				

					Brady Industries		Prices		Shamrock Foods					
					Unit Cost	Total	Unit Cost	Total	Unit Cost	Total	Unit Cost	Total	Unit Cost	Total
159	15	cs	12 - 2.5 #/case	Frozen-Veg-Squash-Yellow					38.83	582.45				
160	15	cs	2 - 5 #/case	Frozen-Bread-Hush-Puppies					18.48	277.20				
161	15	cs	12-2.5#/case	Frozen-Veg-California Blend					23.06	345.90				
162	20	cs	8-4#/case	Frozen-Sauce Alfredo					70.92	1418.40				
163	20	cs	256/case	Frz-Cookie Oatmeal Raisin					27.56	551.20				
164	20	cs	256/case	Frz-Cookie Chocolate Chip					27.71	554.20				
165	5	cs	20# / case	Frozen-Fruit-Strawberries-Whole					49.52	247.60				
166	15	cs	6 ct/case	PreBaked - Pie - Pumpkin					36.32	544.80				
167	10	cs	12 - 16 oz/cs	Topping - On Top - Vanilla - like Rich's					36.72	367.20				
168	15	cs	5 doz. Large/case	Eggs - Large - Raw					18.23	273.45				
169	48	cs	40 - 4 oz/case	Beef-Raw-Breaded-Chicken-Fried-Steak					34.25	1644.00				
170	36	cs	40 - 4 oz/case	Beef-Cooked-Salisbury-Steak					38.87	1399.32				
171	12	cs	80 #/case	Beef- Lean -Ground- 85%					2.04	81.60				
172	2	cs	40 - 4 oz/case	Beef- Lean -Liver-Sliced- 4 oz. slices					21.47	42.94				
173	15	cs	40 #/case	Beef- Lean -Stew-Meat- 3/4" cut					38.55	1156.50				
174	1800	#	#	Beef- Lean -Boneless-Inside Round					2.95	3009.00				
175	2	cs	40 - 4 oz/case	Beef- Lean -Hamburger-Patties- all-beef-4-1					27.86	55.72				
176	40	cs	4 - 1 #/case	Beef-Franks-4-1					25.31	1012.40				
177	16	cs	10 #/case	Beef - raw - strips - for fajita - seasoned					89.24	1427.84				
178	1200	#	24 ct - cs	Chicken- Boneless -Chicken-Breast- 4 oz. portion					28.51	3335.67				
179	60	cs	10 #/case	Chicken-Cooked-Diced					31.86	1911.60				
180	18	cs	10 #/case	Chicken - raw-pulled-white/dark					36.48	656.64				
181	16	cs	10 #/case	Chicken - all meat - Nugget					20.36	325.76				
182	2	cs	50 - 3 oz/case	Chicken-Raw-Breaded - Tenders/Strips					22.14	44.28				
183	16	cs	10 #/case	Chicken - strips - raw-for fajita - seasoned					52.74	843.84				
184	6	cs	4 - bags/case	Eggs-Boil-in-Bag-Liquid-Egg					51.90	1557.00				
185	6	cs	6 - 66.5 oz/case	Fish-Canned-Tuna					56.88	853.20				
186	30	cs	10 #/case	Fish-Catfish-Nuggets-Breaded					21.83	654.90				
187	15	cs	10 #/case	Fish-Shrimp-Breaded- NOT -popcorn					38.99	584.85				
188	10	cs	10 #/case	Fish-Sticks					25.70	257.00				
189	16	cs	10 #/case	Fish-Tapia-Unbreaded-IQF- 4 oz portions					24.04	601.00				
190	3	cs	40 - 4 oz/case	Pork-Chops-Lean- bone-in-4oz portions					36.42	1092.60				
191	6	cs	8 - 10 #/case	Pork- Boneless-Pork-Loin-Roast-NOT Tied					1.62	40.50				
192	24	cs	10 #/case	Pork- Lean -Stew-Meat- 3/4" cut					3.28	78.72				
193	75	#	#	Pork- LowSodium -Bacon					40.65	203.25				
194	150	#	#	Pork- LowSodium -Buffet Ham					1.67	257.18				
195	10	#	50-3 oz.	Pork-Raw-Sausage-Patties-like Jimmy Dean					14.83	14.83				

					Brady Industries		Prices		Shamrock Foods					
					Unit Cost	Total	Unit Cost	Total	Unit Cost	Total	Unit Cost	Total	Unit Cost	Total
196	120	#	40 - 4 oz	Pork-Boneless-Riblet					39.12	469.44				
197	100	#	80-1oz	pork sausage links like jimmy dean					13.66	1366.00				
198	600	#	#	Turkey-Roast-Raw-in foil/bag					2.92	1752.00				
199	6	cs	#	Cheese-American - sliced					41.40	621.00				
200	15	cs	40 #/case	Cheese - Cheddar					38.74	38.74				
201	7	cs	6 #/case	Cheese - Mozzarella - Shredded					42.65	42.65				
202	2	cs	10 #/case	Cheese - Parmesan - Grated					37.67	565.05				
203	25,000		1/2 Pint	1% LowFat -Pasteurized-Homo-Milk			0.24	6000.00	NB	NB				
204	12,000		1/2 Pint	Fat-Free-Skim-Milk			0.24	2880.00	NB	NB				
205	200		1/2 gal	2% LowFat -Pasteurized-Homo-Milk			1.90	380.00	NB	NB				
206	72		1/2 gal	Buttermilk			1.90	190.00	27.62	2762.00				
207	50		5 # Tub	Sour Cream			5.20	260.00	22.90	1145.00				
208	25		100 ct	SourCream - 1 oz. Portions					16.99	424.75				
209	50		5 # Tub	LowFat - Cottage - Cheese			5.96	298.00	51.84	2592.00				
210	10,000		1/2 pint	low fat chocolate milk			0.24	2400.00	NB	NB				
211	50		5 # Tub	LowFat - Yogurt - all Flavors					32.40	1620.00				
212	144		Dozen	Ice-Cream-Cups- 4 oz. Portions-C-S-V			3.60	518.40	8.96	1290.24				
213	144		Dozen	Sherbet-Cup- 4 oz. Portions			3.60	518.40	7.79	1121.76				
214	4	cs	40 - 25/case	Styro - Cup - 8 oz.	17.75	75.00			19.26	77.04				
215	50	cs	20 - 25/case	Styro - Food-Container - 8 oz.					35.59	1779.50				
216	50	cs	5 - 100/case	Food Cont.-Lid (compatible)					19.35	967.50				
217	50	cs	20 - 125/case	Plastic-Food-Container - 4 oz.					48.63	2431.50				
218	50	cs	20 - 125/case	Food Cont.-Lid (compatible)					33.74	1687.00				
219	4	cs	20-125/case	Plastic-Food-Container - 2 oz.					28.98	115.92				
220	4	cs	20-125/case	Food Cont.-Lid (compatible)					24.27	97.08				
221	6	cs	50 ct/case	Plastic - Embossed - Apron					13.99	83.94				
222	4	cs	12 X 3 M/case	Plastic - 12" - Food Wrap					10.55	42.20				
223	3	cs	250/case	Plastic - Freezer - Bags - 1 gallon					16.73	50.19				
224	3	cs	3 - 250/case	Plastic - Freezer - Bags - 1 Quart					17.43	52.29				

[illegible]

AGENDA REPORT

CITY OF ALAMOGORDO

CITY COMMISSION

Meeting Date: 04/12/2016

Report Date: 4/5/2016

Report No: 10.

Submitted By: Evelyn Huff, Housing
Authority Manager

Subject: Consider, and act upon, HA Resolution 2016-13 requesting approval of HUD Form 50077-CR, Civil Rights Certification. (*Evelyn Huff, Housing Authority Manager*) **(Roll Call vote required)**

Fiscal Impact: None
Amount Budgeted: \$0.00
Fund:

Additional Fiscal Impact:

Recommendation: Approve the Resolution. **Roll Call vote required.**

Background: The PHA is required to submit HUD Form 50077-CR, Civil Rights Certification annually to the HUD Field Office 75 days before the beginning of the PHA's fiscal year. The Housing Authority Advisory Board recommends approving form 50077-CR.

HA RESOLUTION NO. 2016-13

**A RESOLUTION REQUESTING APPROVAL OF HUD FORM 50077-CR CIVIL RIGHTS
CERTIFICATION**

WHEREAS; HUD requires submission of HUD Form 50077-CR annually: and,

WHEREAS; the HUD Form 50077-CR, for Calendar Year 2016 has been prepared in
accordance with HUD guidelines; and,

WHEREAS; and a copy HUD Form 50077-CR is attached and incorporated herein,

WHEREAS; and the Housing Authority Advisory Board has recommended the adoption of HUD
Form 50077-CR;

BE IT THEREFORE RESOLVED by the City Commission of the City of Alamogordo, New
Mexico; that the Housing Authority's HUD Form 50077-CR is approved and the Mayor is given
authorization to sign HUD form 50077-CR.

PASSED, APPROVED AND ADOPTED by the City Commission of the City of Alamogordo this
12th day of April 2016.

CITY OF ALAMOGORDO, NEW MEXICO
A New Mexico Municipal Corporation

By: _____
Richard A. Boss, Mayor

ATTEST:

Nancy E. Jacobs, City Clerk

APPROVED AS TO FORM:

Stephen P. Thies, City Attorney

Civil Rights Certification

U.S. Department of Housing and Urban Development
Office of Public and Indian Housing
Expires 4/30/2011

Civil Rights Certification**Annual Certification and Board Resolution**

Acting on behalf of the Board of Commissioners of the Public Housing Agency (PHA) listed below, as its Chairman or other authorized PHA official if there is no Board of Commissioner, I approve the submission of the Plan for the PHA of which this document is a part and make the following certification and agreement with the Department of Housing and Urban Development (HUD) in connection with the submission of the Plan and implementation thereof:

The PHA certifies that it will carry out the public housing program of the agency in conformity with title VI of the Civil Rights Act of 1964, the Fair Housing Act, section 504 of the Rehabilitation Act of 1973, and title II of the Americans with Disabilities Act of 1990, and will affirmatively further fair housing.

Housing Authority of the City of Alamogordo

NM004

PHA Name

PHA Number/HA Code

I hereby certify that all the information stated herein, as well as any information provided in the accompaniment herewith, is true and accurate. Warning: HUD will prosecute false claims and statements. Conviction may result in criminal and/or civil penalties. (18 U.S.C. 1001, 1010, 1012; 31 U.S.C. 3729, 3802)

Name of Authorized Official

Richard A. Boss

Title

Mayor

Signature

Date

AGENDA REPORT

CITY OF ALAMOGORDO

CITY COMMISSION

Meeting Date: 04/12/2016

Report Date: 4/5/2016

Report No: 11.

Submitted By: Maggie Paluch, Housing
Authority Manager

Subject: Consider, and act upon, the Lodger's Tax Expenditures for Tourism & Travel. (*Jan Wafful, Special Events Manager*)

Fiscal Impact: \$2,746.63
\$21,865.99
Amount Budgeted: \$39,991.00
\$21,924.00
Fund: 016-0001-419.57-93
016-0001-419.56-40

Additional Fiscal Impact:

Recommendation: Approve the recommended expenditures for Tourism & Advertising Promotions.

Background:

The following are a list of the expenditures in need of approval. The Invoices are attached for your review.



Finance Inter-Office Form for Accounts Payable

Note: This form is to be used for processing payments through Accounts payable and does NOT take the place of a Purchase Order when required.

VENDOR NUMBER:

If using Vendor #10 - Misc/Must meet Purchasing Criteria

Date of this Request:

Date Check Needed: 04/04/16

XX Next Check Run

SPECIAL INSTRUCTIONS FOR CHECK PROCESSING:

[Attention: Name if appl]

Copy of check to:

PO Box 1351 [Street Address]

Give Check to:

Albuquerque, NM 87103 [City, ST ZIP Code]

Other:

505-764-2510 [Phone]

[illegible]

Department Approval:

Date:

Director Approval (if appl):

Date:

Finance Director Approval required if \$5,000 or more and/or if paid to an employee

FINANCE DIRECTOR APPROVAL:

Date:



Television Airtime Agreement for The City of Alamogordo

This agreement is between KOB-TV and the City of Alamogordo for the purpose of publicizing the Spring Fling event.

Run dates: March 8th through March 19th.

Production: To be provided by KOB-TV and distributed to designated cable systems as directed.

Programming: 6a to 7a News. Weekend sports specials. 6p to 7p news. Weekend News. Tonight Show.

Totals: 38 X :30-second spots, \$985.00. Equivalent bonus spots provided by KOB-TV as PSA's

Acceptance

For City of Alamogordo

4.4.16

Date

For KOB-TV

4/4/16

Date



KOB
4 Broadcast Plaza SW
Albuquerque, NM 87104
Main: (505)243-4411
Billing: (505)764-2510

www.kobtv.com

Billing Address:

City of Alamogordo
Attention: Jan Wafful
1376 E 9th St
Alamogordo, NM 88310-5855

Send Payment To:

KOB
P O Box 1351
Albuquerque, NM 87103

INVOICE

Invoice #	Invoice Date	Invoice Month	Invoice Period
274991-1	03/27/16	March 2016	02/29/16 - 03/27/16

Property	Account Executive	Sales Office	Sales Region
KOB	Michael Clarke	Roswell - KOB	Local

Advertiser	Product	Estimate Number
City of Alamogordo	production billing	

Flight Dates	Order #	Alt Order #
03/27/16 - 03/27/16	274991	

Billing Calendar	Billing Type	Deal #
Broadcast	Cash	

Special Handling

Agency Code	Advertiser Code	Product 1/2

Agency Ref	Advertiser Ref

Line	Start Date	End Date	Description	Start/End Time	MTWTFSS	Length	Spots/ Week	Rate	Type
1	03/27/16	03/27/16	Production	Production	-----1	:00	1	\$150.00	NS
Created custom :30 spot entitled "Spring Fling 2016" using video, graphics & audio.									
Weeks:	<u>Start Date</u>	<u>End Date</u>	<u>MTWTFSS</u>	<u>Spots/Week</u>	<u>Rate</u>				
	03/21/16	03/27/16	-----1	1	\$150.00				
Spots: #	<u>Ch</u>	<u>Day</u>	<u>Air Date</u>	<u>Air Time</u>	<u>Description</u>	<u>Start/End Time</u>	<u>Length</u>	<u>Ad-ID</u>	<u>Rate</u> <u>Type</u>
1	R	Su	03/27/16		Production	Production	:00		\$150.00 NS
<u>Total Spots</u>							1		

Payment Terms 30 Days

<u>Net Total</u>	\$150.00
ROS 7.5%	\$11.25
<u>Amount Due</u>	\$161.25

INVOICE



KOB
4 Broadcast Plaza SW
Albuquerque, NM 87104
Main: (505)243-4411
Billing: (505)764-2510

www.kobtv.com

Billing Address:

City of Alamogordo
Attention: Jan Wafful
1376 E 9th St
Alamogordo, NM 88310-5855

Send Payment To:

KOB
P O Box 1351
Albuquerque, NM 87103

Invoice #	Invoice Date	Invoice Month	Invoice Period
272434-1	03/27/16	March 2016	02/29/16 - 03/19/16

Property	Account Executive	Sales Office	Sales Region
KOB	Michael Clarke	Roswell - KOB	Local

Advertiser	Product	Estimate Number
City of Alamogordo	Spring Fling	

Flight Dates	Order #	Alt Order #
03/08/16 - 03/19/16	272434	

Billing Calendar	Billing Type	Deal #
Broadcast	Cash	

Special Handling

Agency Code	Advertiser Code	Product 1/2

Agency Ref	Advertiser Ref

Line	Start Date	End Date	Description	Start/End Time	MTWTFSS	Length	Spots/ Week	Rate	Type
1	03/08/16	03/19/16	News 4 Today II 6a-7a	M-F 6a-7a	MTWTF--	:15	1	\$29.00	NM
Weeks: <u>Start Date</u> <u>End Date</u> <u>MTWTFSS</u> <u>Spots/Week</u> <u>Rate</u> 03/07/16 03/13/16 -TWTF-- 5 \$29.00									
Spots: #	<u>Ch</u>	<u>Day</u>	<u>Air Date</u>	<u>Air Time</u>	<u>Description</u>	<u>Start/End Time</u>	<u>Length</u>	<u>Ad-ID</u>	<u>Rate</u> <u>Type</u>
1	R	Tu	03/08/16	6:15 AM	News 4 Today II 6a-7a	M-F 6a-7a	:15	Spring Fling	\$29.00 NM
5	R	Tu	03/08/16	6:58 AM	News 4 Today II 6a-7a	M-F 6a-7a	:15	Spring Fling	\$29.00 NM
2	R	W	03/09/16	6:52 AM	News 4 Today II 6a-7a	M-F 6a-7a	:15	Spring Fling	\$29.00 NM
3	R	Th	03/10/16	6:12 AM	News 4 Today II 6a-7a	M-F 6a-7a	:15	Spring Fling	\$29.00 NM
4	R	F	03/11/16	6:28 AM	News 4 Today II 6a-7a	M-F 6a-7a	:15	Spring Fling	\$29.00 NM
Weeks: <u>Start Date</u> <u>End Date</u> <u>MTWTFSS</u> <u>Spots/Week</u> <u>Rate</u> 03/14/16 03/20/16 MTWTF-- 5 \$29.00									
Spots: #	<u>Ch</u>	<u>Day</u>	<u>Air Date</u>	<u>Air Time</u>	<u>Description</u>	<u>Start/End Time</u>	<u>Length</u>	<u>Ad-ID</u>	<u>Rate</u> <u>Type</u>
6	R	M	03/14/16	6:40 AM	News 4 Today II 6a-7a	M-F 6a-7a	:15	Spring Fling	\$29.00 NM
10	R	Tu	03/15/16	6:11 AM	News 4 Today II 6a-7a	M-F 6a-7a	:15	Spring Fling	\$29.00 NM
8	R	W	03/16/16	6:23 AM	News 4 Today II 6a-7a	M-F 6a-7a	:15	Spring Fling	\$29.00 NM
7	R	Th	03/17/16	6:12 AM	News 4 Today II 6a-7a	M-F 6a-7a	:15	Spring Fling	\$29.00 NM
9	R	F	03/18/16	6:12 AM	News 4 Today II 6a-7a	M-F 6a-7a	:15	Spring Fling	\$29.00 NM
2	03/08/16	03/19/16	NBC Sports Specials	Sa/Su 9a-7p	-----SS	:15	1	\$10.00	NM
Weeks: <u>Start Date</u> <u>End Date</u> <u>MTWTFSS</u> <u>Spots/Week</u> <u>Rate</u> 03/07/16 03/13/16 -----SS 6 \$10.00									
Spots: #	<u>Ch</u>	<u>Day</u>	<u>Air Date</u>	<u>Air Time</u>	<u>Description</u>	<u>Start/End Time</u>	<u>Length</u>	<u>Ad-ID</u>	<u>Rate</u> <u>Type</u>
6	R	Sa	03/12/16	11:20 AM	NBC Sports Specials	Sa/Su 9a-7p	:15	Spring Fling	\$10.00 NM
2	R	Sa	03/12/16	11:32 AM	NBC Sports Specials	Sa/Su 9a-7p	:15	Spring Fling	\$10.00 NM
1	R	Sa	03/12/16	4:59 PM	NBC Sports Specials	Sa/Su 9a-7p	:15	Spring Fling	\$10.00 NM
3	R	Su	03/13/16	1:01 PM	NBC Sports Specials	Sa/Su 9a-7p	:15	Spring Fling	\$10.00 NM
4	R	Su	03/13/16	2:37 PM	NBC Sports Specials	Sa/Su 9a-7p	:15	Spring Fling	\$10.00 NM
5	R	Su	03/13/16	4:29 PM	NBC Sports Specials	Sa/Su 9a-7p	:15	Spring Fling	\$10.00 NM
Weeks: <u>Start Date</u> <u>End Date</u> <u>MTWTFSS</u> <u>Spots/Week</u> <u>Rate</u> 03/14/16 03/20/16 -----S- 4 \$10.00									
Spots: #	<u>Ch</u>	<u>Day</u>	<u>Air Date</u>	<u>Air Time</u>	<u>Description</u>	<u>Start/End Time</u>	<u>Length</u>	<u>Ad-ID</u>	<u>Rate</u> <u>Type</u>
7	R	Sa	03/19/16	7:10 AM	NBC Sports Specials	Sa/Su 9a-7p	:15	Spring Fling	\$10.00 NM
11	R	Sa	03/19/16	7:59 AM	NBC Sports Specials	Sa/Su 9a-7p	:15	Spring Fling	\$10.00 NM
8	R	Sa	03/19/16	11:55 AM	NBC Sports Specials	Sa/Su 9a-7p	:15	Spring Fling	\$10.00 NM
9	R	Sa	03/19/16	5:19 PM	NBC Sports Specials	Sa/Su 9a-7p	:15	Spring Fling	\$10.00 NM

We warrant that the actual broadcast information shown on this invoice was taken from the program log.
 Need a copy of our W-9 Taxpayer ID and Certification Form? Download it from: <http://w9.hbl.com>

INVOICE



Send Payment To:

KOB
P O Box 1351
Albuquerque, NM 87103

Invoice #	Invoice Date	Invoice Month	Invoice Period
272434-1	03/27/16	March 2016	02/29/16 - 03/19/16

Advertiser	Product	Estimate Number
City of Alamogordo	Spring Fling	

www.kobtv.com

Line	Start Date	End Date	Description	Start/End Time	MTWTFSS	Length	Spots/ Week	Rate	Type
4	03/08/16	03/19/16	News 4 @ 630p M-F	M-F 630p-7p	MTWTF--	:15	1	\$39.00	NM
Weeks: <u>Start Date</u> <u>End Date</u> <u>MTWTFSS</u> <u>Spots/Week</u> <u>Rate</u> 03/07/16 03/13/16 -TWTF-- 4 \$39.00									
Spots: #	Ch	Day	Air Date	Air Time	Description	Start/End Time	Length	Ad-ID	Rate Type
3	R	Tu	03/08/16	6:53 PM	News 4 @ 630p M-F	M-F 630p-7p	:15	Spring Fling	\$39.00 NM
1	R	W	03/09/16	6:41 PM	News 4 @ 630p M-F	M-F 630p-7p	:15	Spring Fling	\$39.00 NM
4	R	F	03/11/16	6:53 PM	News 4 @ 630p M-F	M-F 630p-7p	:15	Spring Fling	\$39.00 NM
2	R	F	03/11/16	6:59 PM	News 4 @ 630p M-F	M-F 630p-7p	:15	Spring Fling	\$39.00 NM
Weeks: <u>Start Date</u> <u>End Date</u> <u>MTWTFSS</u> <u>Spots/Week</u> <u>Rate</u> 03/14/16 03/20/16 MTWTF-- 5 \$39.00									
Spots: #	Ch	Day	Air Date	Air Time	Description	Start/End Time	Length	Ad-ID	Rate Type
5	R	M	03/14/16	6:54 PM	News 4 @ 630p M-F	M-F 630p-7p	:15	Spring Fling	\$39.00 NM
6	R	Tu	03/15/16	6:44 PM	News 4 @ 630p M-F	M-F 630p-7p	:15	Spring Fling	\$39.00 NM
8	R	W	03/16/16	6:43 PM	News 4 @ 630p M-F	M-F 630p-7p	:15	Spring Fling	\$39.00 NM
9	R	Th	03/17/16	6:44 PM	News 4 @ 630p M-F	M-F 630p-7p	:15	Spring Fling	\$39.00 NM
7	R	F	03/18/16	6:55 PM	News 4 @ 630p M-F	M-F 630p-7p	:15	Spring Fling	\$39.00 NM
5	03/08/16	03/19/16	News 4 @ 6p Sat	Sa 6p-630p	-----S-	:15	1	\$52.00	NM
Weeks: <u>Start Date</u> <u>End Date</u> <u>MTWTFSS</u> <u>Spots/Week</u> <u>Rate</u> 03/07/16 03/13/16 -----S- 2 \$52.00									
Spots: #	Ch	Day	Air Date	Air Time	Description	Start/End Time	Length	Ad-ID	Rate Type
2	R	Sa	03/12/16	6:11 PM	News 4 @ 6p Sat	Sa 6p-630p	:15	Spring Fling	\$52.00 NM
1	R	Sa	03/12/16	6:27 PM	News 4 @ 6p Sat	Sa 6p-630p	:15	Spring Fling	\$52.00 NM
6	03/08/16	03/19/16	The Tonight Show	M-Th 1035p-1135p/	MTWTF--	:15	1	\$20.00	NM
Weeks: <u>Start Date</u> <u>End Date</u> <u>MTWTFSS</u> <u>Spots/Week</u> <u>Rate</u> 03/07/16 03/13/16 -TWTF-- 3 \$20.00									
Spots: #	Ch	Day	Air Date	Air Time	Description	Start/End Time	Length	Ad-ID	Rate Type
1	R	Tu	03/08/16	11:09 PM	The Tonight Show	M-Th 1035p-1135p/	:15	Spring Fling	\$20.00 NM
2	R	W	03/09/16	10:53 PM	The Tonight Show	M-Th 1035p-1135p/	:15	Spring Fling	\$20.00 NM
3	R	F	03/11/16	11:03 PM	The Tonight Show	M-Th 1035p-1135p/	:15	Spring Fling	\$20.00 NM
Weeks: <u>Start Date</u> <u>End Date</u> <u>MTWTFSS</u> <u>Spots/Week</u> <u>Rate</u> 03/14/16 03/20/16 MTWTF-- 4 \$20.00									
Spots: #	Ch	Day	Air Date	Air Time	Description	Start/End Time	Length	Ad-ID	Rate Type
5	R	M	03/14/16	11:16 PM	The Tonight Show	M-Th 1035p-1135p/	:15	Spring Fling	\$20.00 NM
7	R	Tu	03/15/16	11:14 PM	The Tonight Show	M-Th 1035p-1135p/	:15	Spring Fling	\$20.00 NM
4	R	Th	03/17/16	11:13 PM	The Tonight Show	M-Th 1035p-1135p/	:15	Spring Fling	\$20.00 NM
6	R	F	03/18/16	11:23 PM	The Tonight Show	M-Th 1035p-1135p/	:15	Spring Fling	\$20.00 NM

Total Spots **38**

Payment Terms 30 Days

<u>Net Total</u>	\$985.00
ROS 7.5%	\$73.88
<u>Amount Due</u>	\$1,058.88

**Finance Inter-Office Form for Accounts Payable**

Note: This form is to be used for processing payments through Accounts payable and does NOT take the place of a Purchase Order when required.

VENDOR NUMBER:

If using Vendor #10 - Misc/Must meet Purchasing Criteria

Date of this Request:

Date Check Needed: 04/04/16

XX Next Check Run

SPECIAL INSTRUCTIONS FOR CHECK PROCESSING:

Copy of check to:

Give Check to:

Other:

915-542-1422 [Phone]

Department authorized officials are responsible for approval of payments from department line items and ensuring sufficient budget. A check request requires Dept. Director's approval, unless a memo is on file with A/P designating an authorization to a specific manager.

Department Approval:

Date: 4/04/16

Director Approval (if appl):

Date: 4.4.16

Finance Director Approval required if \$5,000 or more and/or if paid to an employee

FINANCE DIRECTOR APPROVAL:

Date: _____



Cristo Rey Communications
Publishers of El Paso Scene
PO Box 13615
El Paso TX 79913

Invoice

Date	Invoice No.
02/29/16	1600142

Bill To
City of Alamogordo Spring Fling Event Attn: Jan Wafful 1376 Ninth St Alamogordo NM 88310

Payment is due
upon receipt

*If you have questions regarding this
invoice, please call Randy Limbird at
(915) 542-1422*

Item Code	Description	Quantity	Price Each	Amount
2/3 page	2/3 page ad in March 2016 issue of El Paso Scene		805.00	805.00
Color charges	Color		280.00	280.00
Discounts	Discount		-361.00	-361.00
			Total	\$724.00

Submitted By:
Tammy Underwood
Communications and Promotions Director



Second Annual Spring Fling

March 19, 2016 ~ 10:00 am - 5:00 pm
New York Ave. between 8th & 10th St.

Entertainment, Food, Shopping, Car and Motorcycle Show and FUN!

www.alamogordo.com





Finance Inter-Office Form for Accounts Payable

Note: This form is to be used for processing payments through Accounts payable and does NOT take the place of a Purchase Order when required.

VENDOR NUMBER:

If using Vendor #10 - Misc/Must meet Purchasing Criteria

Date of this Request:

Date Check Needed: 04/04/16

XX Next Check Run

SPECIAL INSTRUCTIONS FOR CHECK PROCESSING:

[Attention:Name if appl]

Copy of check to:

Give Check to:

Other:

505-268-1793 [Phone]

Department authorized officials are responsible for approval of payments from department line items and ensuring sufficient budget. A check request requires Dept. Director's approval, unless a memo is on file with A/P designating an authorization to a specific manager.

Department Approval:

Date: 4/10/16

Director Approval (if appl):

Date: 4.4.16

Finance Director Approval required if \$5,000 or more and/or if paid to an employee

FINANCE DIRECTOR APPROVAL:

Date:

Your Host ... New Mexico

Travel, Recreation and Entertainment in the Land of Enchantment

P.O. Box 11841, Albuquerque, New Mexico 87192-0841 • (505) 268-1793
2/23/2016

Date: _____

Invoice # YHNM

2023016

Jan Wafful
City of Alamogordo
1376 E Ninth ST
Alamogordo NM 88310-5855

AUTHORIZED BY Tammy Underwood

ISSUE: Spring 2016

750.00

52.50

TAX _____

802.50

Please Make Checks Payable to YOUR HOST NEW MEXICO

THIS INVOICE IS YOUR ONLY CONFIRMATION OF ADVERTISING IN YOUR HOST NEW MEXICO. IF
THERE IS ANY QUESTION WHATSOEVER, PLEASE RETURN THE BILL AT ONCE GIVING FULL DETAILS.

Payable On Publication

Alamogordo's 2nd Annual Spring Fling!

March 19, 2016 from 10:00 AM - 5:00 PM

The Alamogordo Chamber of Commerce is hosting the 2nd Annual Spring Fling Event! Located in the Historic Downtown Alamogordo, New York Ave, we will have an antique car show, motorcycle show, with food and crafts vendors!



Second Annual Spring Fling

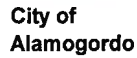


March 19, 2016 ~ 10:00 am - 5:00 pm
New York Ave. between 8th & 10th St.

Entertainment, Food, Shopping, Car and Motorcycle Show and FUN!

www.alamogordo.com







INVOICE

Hayduk-King Advertising, Inc.
P.O. Box 4492 SANTA FE, NEW MEXICO 87502

Jan Wafful
City of Alamogordo
1376 E. Ninth Street
Alamogordo, New Mexico 88310

Number HB-15-756
Date 2/18/2016
Job Number

Job Name/Title Brochures and Rack Cards 2016

Description	New Mexico True Campaign	AMOUNT
Tourism Brochure - 75,000 Total Printing, Proofs and Shipping		\$13,270.00
Tourism Brochure - Front cover re-design 4 x 9 fold out brochure with new photo front and interior , copy proofing and New Mexico True guidelines Production Layout, Production Supervision		\$1,500.00
Tourism Rack Cards - Printing Re-printed 5,000 Alameda Park Zoo, Desert Lakes Golf Course, Oliver Lee Memorial State Park, Toy Train Depot & Museum and N.M.Museum of Space History 10,000 White Sands National Monument 35,000 Total Printing, Proofs and Shipping		\$3,400.00
Tourism Rack Cards - Six Cards, Design and New Photo selections Design, Production Layout, Copy Writing, Photo's, Production Supervision Client Revisions, Clerical, Traffic Management and Production Management. and designed to New Mexico True guidelines		\$2,265.50
TOTAL		<u>\$20,435.50</u>
NM Gross Receipts Tax:		<u>\$1,430.49</u>
TOTAL		<u>\$21,865.99</u>

Please Remit Payment to:
Hayduk King Advertising, Inc.
P.O. Box 4492
Santa Fe, NM 87502

CLIENT

Alamogordo

Natural Wonders & National Treasures

From White Sands National Monument
to alpine meadows high in the Sacramento
Mountains, outdoor lovers love Alamogordo.
But the great outdoors is just the beginning.
Visitors will find the birthplace of space
exploration, a thriving performing arts center,
surprising restaurants and top-flight golf.
Alamogordo. Your gateway to fantastic
sightseeing, scenery, sand and space.

575-437-6120
chamber@alamogordo.com
Alamogordo Chamber of Commerce
1301 N. White Sands Blvd.
Alamogordo, NM 88310
Toll Free: (800) 826-0294
Fax: (575) 437-6334

WWW.ALAMOGORDO.COM

Alamogordo is
NEW MEXICO
True

Alamogordo is
NEW MEXICO True



What's a vacation without a little time on the links? Here's a great place for the entire family of golfers. In 2013 Desert Lakes Golf Course was named the Club of the Year by Sun Country Amateur Golf Association. The course is beautifully situated at the base of the Sacramento Mountains. The front nine is tree-lined and park-like, while the back nine is authentic links-style cut from the high New Mexican desert. All levels of golfers are welcome year round. Call for tee times. (575) 437-0250

Desert Lakes Golf Course

Open Monday through Saturday, 10 a.m. to 4 p.m. Long-standing and pioneering families in the region built through acquisitions and donations made by overcame the challenging terrain. The collection was collection of artifacts, photographs and the staff of and later as grazing lands for early Spanish shepherds. It is significant as the historical homelands of the Apache. Mexico's stunning Tularosa Basin. The basin, which covers more than 6,000 square miles (larger than Connecticut), museum for a look at 19th and 20th century life in New

Tularosa Basin Historical Society Museum

Get your bearings with a visit to the region's history museum for a look at 19th and 20th century life in New Mexico's stunning Tularosa Basin. The basin, which covers more than 6,000 square miles (larger than Connecticut), and the Sacramento Mountains are also included. A museum from 1903 to the present. Rare photographs and dating from the early railroad days in Alamogordo. The museum presents more than 1,000 model trains century train depot built by the Southern Pacific Railroad of New Mexico's leading collection of small scale trains. An aboard! Train lovers of all ages will get a kick out

Toy Train Depot and Museum

AREA ATTRACTIONS



"Cute," "quaint" and "nice little zoo" are just some of the reviews that visitors from across the US have given. Alamogordo Park Zoo, founded in 1958, Alamogordo Park Zoo is the oldest in New Mexico and one of the oldest in the Southwest. It is certified by the Association of Zoos & Aquariums and is notable for its Species Survival Plan. Captive facility for the Mexican Gray Wolf. The zoo is home to more than 250 species on 12 acres — the perfect size for smaller kids. We also have an education center, gift shop, picnic area and playground. Open daily 9 a.m. to 5 p.m. (except Christmas and New Years). (575) 439-4290.

Alamogordo Park Zoo



One of southern New Mexico's premier venues for the arts presents concerts, plays, dance recitals as well as The "Flick" as it's known locally, brings local as well as international touring performers to Alamogordo. The Flick is also home to New York Theater, the Alamogordo Music Theater and The Tallejo Summer Jazz Series. There's always something interesting happening at the Flickinger Center for the Performing Arts. Check out their schedule online at flickingercenter.com. (575) 437-2202

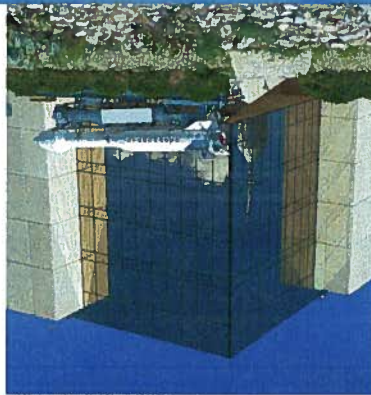
Flickinger Center for the Performing Arts

Kids' Kingdom

At the center of town lies a great place for parents to relax with kids with extra energy. Corner of Washington Oregon Kingdom is a city park with a giant jungle gym, it's nuravara while the kids run and play to their heart's content. Kid's Avenue and Indian Wells Road.

New Mexico Museum of Space History

Discover how New Mexico's space program. Visitors from across the country and around the world come to Alamogordo to learn about the history, science and technology of space travel. Permanent exhibits showcase the historical developments of rockets and the pioneers in the field, as well as the challenges of living in space with presentations of space food, clothing, a space toilet and more. The museum also exhibits real moon rocks! The museum is home to The International Space Hall of Fame, which commemorates the achievements of the men and women behind man's exploration of the heavens. The New Mexico Museum of Space History and the John P. Stapp Air and Space Park is open daily except Thanksgiving and Christmas. (575) 437-2840.



White Sands National Monument



The IMAX Theatre at the Museum of Space History is southern New Mexico's only IMAX theatre and features jaw-dropping presentations about the universe and space exploration. Sitting in front of the world's largest format projection screen is immense and awesome. With a variety of presentation, visitors can experience what's like to float in space with an astronaut, or tour the solar system through spectacular photography. Daily except Thanksgiving and Christmas. (575) 437-2840.

IMAX Dome Movie Theatre

White Sands, a spectacular landscape shaped by natural forces, is like no other place on earth. Located in the heart of the Tularosa Basin just 15 minutes (13 miles) west of Alamogordo, White Sands is the largest gypsum dune field in the world. Long considered one of the world's great natural wonders, the glittering white dunes range over 275 square miles. A unique variety of plants and animals have evolved to survive the seemingly harsh conditions. The park offers a wide range of programs and activities including guided walks, full moon hikes, junior ranger programs, and the ever-popular dune sledding. Open daily except Christmas but subject to closures for testing at neighboring White Sands Missile Range. (575) 437-6124

Trinity Site National Historic Landmark

The world was forever changed on July 16, 1945 at the Trinity Test Site. It was here at the White Sands Missile Range that the first atomic bomb was detonated and brought a quick end to the Second World War in the Pacific. Today it is a national historical site that is open for visitors just one day per year. Visitors can see ground zero, the ranch house where the bomb was assembled and one of the instrument bunkers. For information about visiting the site go to www.wsmr.army.mil/PAO/trinity

Holloman Air Force Base

As the home of the 49th Tactical Fighter Wing, Holloman plays an important role in the US military, in New Mexico and to the local economy of Alamogordo. The base occasionally hosts air shows and open houses for the community. The base is home to the F-16 Fighting Falcon, commonly nicknamed "Viper" by its pilots. It also holds the important distinction as being the home of the German Air Force's Tactical Training Center for the F-4F Phantom jet German Tornados. Members of the German Air Force host a popular annual Octoberfest celebration.

Alamogordo-White Sands Regional Airport

Easy access to the greater Alamogordo area for private aircraft owners, the airport is city-owned for public use. The airport is host to several soaring and gliding clubs. The airport is just four miles from town. (575) 439-4110

National Solar Observatory

One of the world's leading solar observatories is located in the Sacramento Mountains about 16 miles south of the town of Cloudcroft. The beautiful setting at about 9,100 feet in elevation was chosen for its excellent daytime "sky quality." The NSO operates state-of-the-art facilities for the advancement of knowledge about our sun. Visitors are welcome with both guided and self-guided tours. Hiking trails offer spectacular views of the Tularosa Basin including White Sands National Monument and points beyond. (575) 434-7000.

Lincoln National Forest

Named for President Abraham Lincoln, the Lincoln National Forest can be described as massive. At more than 1 million acres the forest stretches over four counties and encompasses elevations that range from 4,000 to over 11,000 feet in four separate mountain ranges: the Capitan, Guadalupe, Sacramento and Sierra Blancas. One notable fact is that Lincoln National Forest is the birthplace of the real Smokey Bear, a rescued cub who became the living symbol of the dangers of forest fires. A memorial to Smokey can be visited near in the town of Capitan at the Smokey Bear Museum and Gift Shop. Hiking trails throughout the forest reward visitors with spectacular vistas, wildlife sightings, waterfalls and picnic sites. (575) 434-7200.

Valley of Fires and the Malpais Lava Flow

Malpais, or bad land in Spanish, is a lava flow that stretches for more than 40 miles into the Tularosa Basin. The lava is believed to have originated from Little Black Peak nearly 10 miles away. Even at 5,000 years old, geologists consider this flow to be one of the youngest in the continental US. Adjacent to the lava flow is the Valley of Fires recreation area. A Visitor Center and fully accessible Malpais Nature Trail provide interpretive displays. Scenic overlooks along US 380 offer panoramic views. (575) 648-2241.



Valley of Fires and the Malpais Lava Flow

Alamogordo Founders Park

In honor of the city's centennial celebration in 1998, Founders Park was created to pay tribute to individuals and groups who have made important contributions to the area. Native American, Spanish and the American cowboy are all honored here through bronze relief sculptures and busts and a mural donated by prominent local artists. Located at the corner of US 54/70 and 10th Street.



Three Rivers Petroglyph Site

Three Rivers Petroglyph Site

Three Rivers is remarkable for the number and variety of over 21,000 petroglyphs carved here between 900 and 1400 AD. It is one of the few historic sites in the southwest designated solely for its rock art. The native Mogollon people created images of humans, birds, animals, fish, insects, plants, and numerous geometric and abstract designs. Many of the glyphs are easily viewed from a trail that winds through the rocks for approximately one mile. Nearby are the ruins of a small pueblo. Hiking, camping and picnics can all be done at Three Rivers Petroglyph Site. (575) 525-4300.

Oliver Lee Memorial State Park and Dog Canyon Recreational Trail

Named for an early and influential settler in the New Mexican territory, Oliver Lee State Park occupies a dramatic place in the Sacramento Mountains a short distance south of Alamogordo at the mouth of Dog Canyon. Lee's 19th century ranch house has been restored and furnished with period pieces. A trail along the river takes hikers to an oasis of pools under cottonwood trees. The Dog Canyon Recreational Trail climbs to an elevation that delivers striking views of the Tularosa Basin to the west and the Organ Mountains to the south. The park offers plenty of opportunities for hiking, camping, picnics and wildlife sightings. (575) 437-8284.



Oliver Lee Memorial State Park



LODGING

Ace Motel

(575) 437-5671
2635 N. White Sands Blvd.
Alamogordo, NM 88310

Alamo Inn

(575) 437-1000
1450 N. White Sands Blvd.
Alamogordo, NM 88310

Classic Inn

(575) 437-0210
710 N. White Sands Blvd.
Alamogordo, NM 88310

Days Inn

(575) 437-5090 or (800) 329-7466
907 S. White Sands Blvd.
Alamogordo, NM 88310

Economy Inn

(575) 437-1850
508 S. White Sands Blvd.
Alamogordo, NM 88310

Fairfield Inn & Suites

(575) 437-4000
300 Panorama Blvd.
Alamogordo, NM 88310

Hampton Inn

(575) 439-1782 or (800) 426-7856
1295 Hamilton Road
Alamogordo, NM 88310

Holiday Inn Express

(575) 434-9773 or (800) 465-4329
100 Kerry Avenue
Alamogordo, NM 88310

Inn of The Mountain Gods

(575) 464-7777 or (800) 545-9011
287 Carrizo Canyon
Mescalero, NM 88340

Lodge Resort & Spa

(575) 682-2566 or (800) 395-6343
601 Corona Place
Cloudcroft, NM 88317

Magnuson Hotel Alamogordo Suites

(575) 437-2110 or (800) 565-1988
1021 S. White Sands Blvd.
Alamogordo, NM 88310

Motel 6

(575) 434-5970 or (800) 466-8356
251 Panorama Blvd.
Alamogordo, NM 88310

Quality Inn & Suites

(575) 434-4200 or (800) 255-5061
1020 S. White Sands Blvd.
Alamogordo, NM 88310

Satellite Inn

(575) 437-8454 or (800) 221-7690
2224 N. White Sands Blvd.
Alamogordo, NM 88310

Suburban Extended Stay Hotel

(575) 446-6111 or (800) 528-3118
2500 N. White Sands Blvd.
Alamogordo, NM 88310

Super 8 Motel

(575) 434-4205 or (800) 478-7378
3204 N. White Sands Blvd.
Alamogordo, NM 88310

White Sands Motel

(575) 437-2922 or (877) 437-2922
1101 S. White Sands Blvd.
Alamogordo, NM 88310

ANNUAL EVENTS

February

Flickinger Valentine Chocolate Buffet & Concert

April

Trinity Site Tour
Desert Light Film Festival
Community Earth Day Fair
Easter in the Park

May

Armed Forces Day Celebration
Memorial Day Hang Gliding Fly-In
Fourth Fridays/Movies Under the Stars
White Sands Pupfish Baseball

June

Shuttle Camp Begins
High Rolls Cherry Festival
Fourth Fridays/Movies Under the Stars
White Sands Pupfish Baseball

July

Independence Day Parade and Fireworks Extravaganza
Chamber Summer Grill Master Event
Miss Alamogordo/Otero Scholarship Pageant
Christmas in July Bazaar
Fourth Fridays/Movies Under the Stars
White Sands Pupfish Baseball

August

Otero County Fair & Rodeo
Fourth Fridays/Movies Under the Stars

September

Cottonwood Arts & Crafts Festival
Amateur Radio Club Hamfest
White Sands Balloon Invitational
Tularosa Basin Wine & Nut Festival
Oktoberfest at Holloman A.F.B.

October

Trinity Site Tour
Zoo Boo/Pet Parade/Zoo Broo
Chaparral Kennel Club Dog Show
Columbus Day Hang Gliding Fly-In
Silver & Turquoise Tea-Flickinger Guild
High Rolls Apple Festival

November

Veterans Day Parade
Antiques & Collectibles Show
Santa's Workshop at Ellis
Holiday Craft and Variety Show
HESO Holidays in the Desert
Turkey-Lympics

December

Christmas Tree Lighting
Old-Fashioned Christmas Downtown
Christmas Parade of Lights
Lady of the Mountain Run

ALAMOGORDO CITY MAP



DISTANCE and ELEVATION

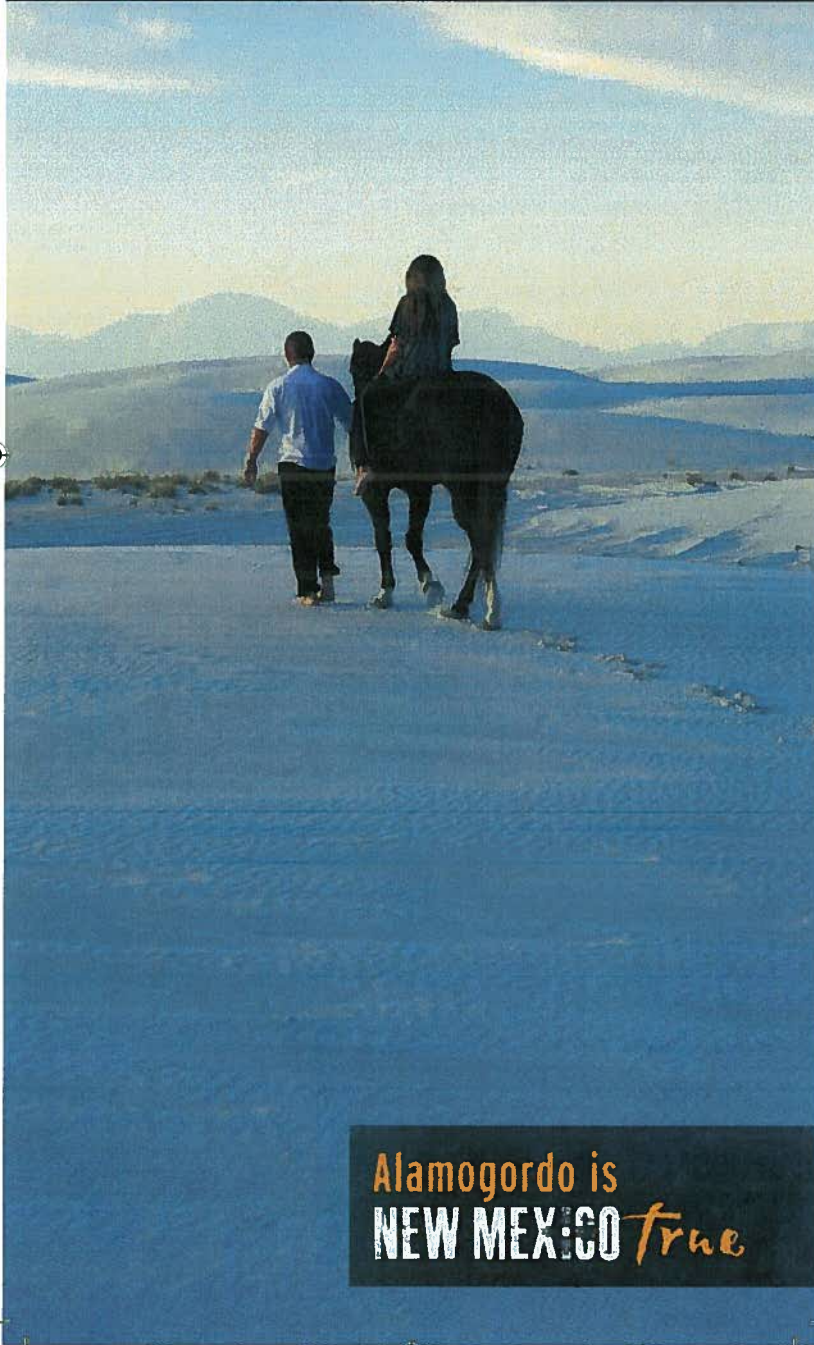
	207 miles	5,000 feet
Albuquerque		
Capitan	70	6,350
Carlsbad	146	3,110
Carrizozo	58	5,426
Cloudcroft	19	8,650
El Paso, TX	86	3,500
Las Cruces	68	3,896
Lincoln	82	5,600
Ruidoso	46	6,900
Tularosa	13	4,520

WWW.ALAMOGORDO.COM

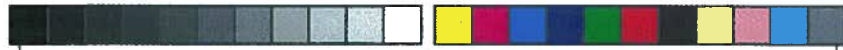


Alamogordo

White Sands National Monument



Alamogordo is
NEW MEXICO *True*



WHITE SANDS NATIONAL MONUMENT

ONE OF THE WORLD'S GREAT NATURAL WONDERS

A spectacular landscape shaped by natural forces, White Sands is like no other place on earth. Located in the heart of the Tularosa Basin just 15 minutes west of Alamogordo, it is the largest gypsum dune field in the world. Long considered one of the world's great natural wonders, the glistening white dunes range over 275 square miles. A unique variety of plants and animals have evolved to survive the seemingly harsh conditions.

PLANNING YOUR VISIT

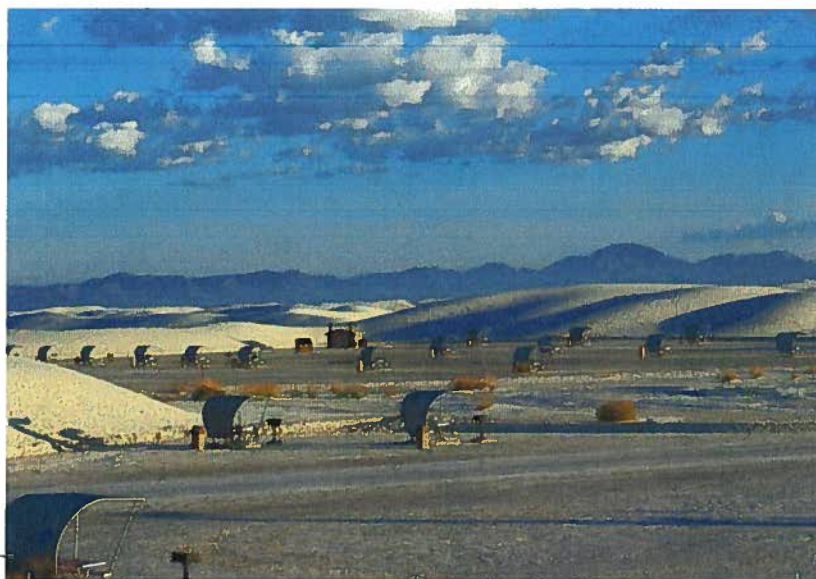
The park offers a wide range of programs and activities including guided walks, full moon hikes, junior ranger programs, and the ever-popular dune sledding. Each visitor should carry sufficient water, sunscreen, sunglasses and dress suitably.

Open daily except Christmas but subject to closures for testing at neighboring White Sands Missile Range.

(575) 479-6124 ext.236

www.NPS.gov/WHSA/

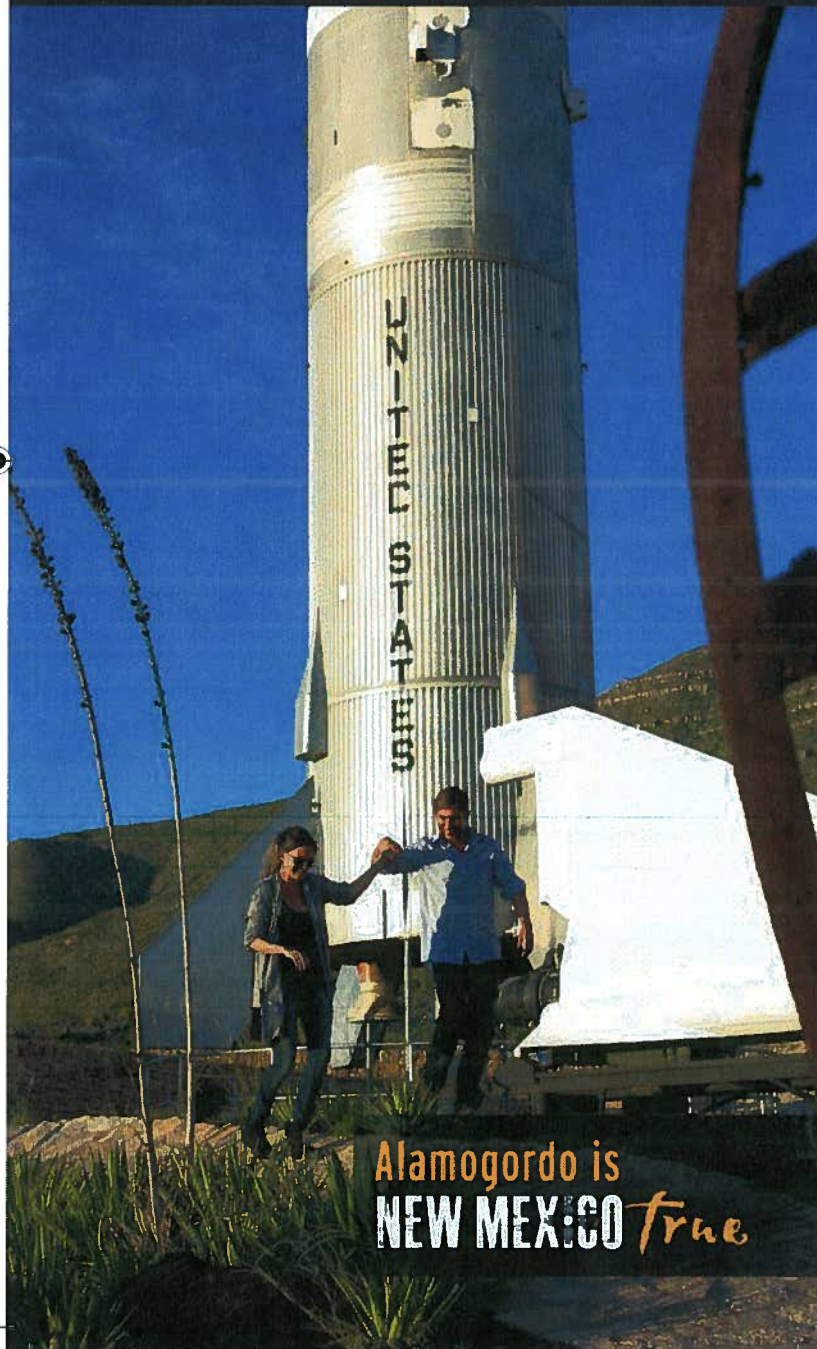
www.Alamogordo.com





Alamogordo

New Mexico Museum of Space History



Alamogordo is
NEW MEXICO *True*



NEW MEXICO MUSEUM OF SPACE HISTORY

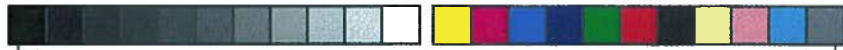
THE INTERNATIONAL SPACE HALL OF FAME,
IMAX THEATER AND PLANETARIUM

Discover how New Mexico's Tularosa Basin became the cradle of America's space program. Visitors from across the country and around the world come to Alamogordo to learn about the history, science and technology of space travel. Permanent exhibits showcase the historical developments of rocketry and the pioneers in the field, as well as the challenges of living in space with presentations of space food, clothing, a space toilet and more. The museum also exhibits real moon rocks!



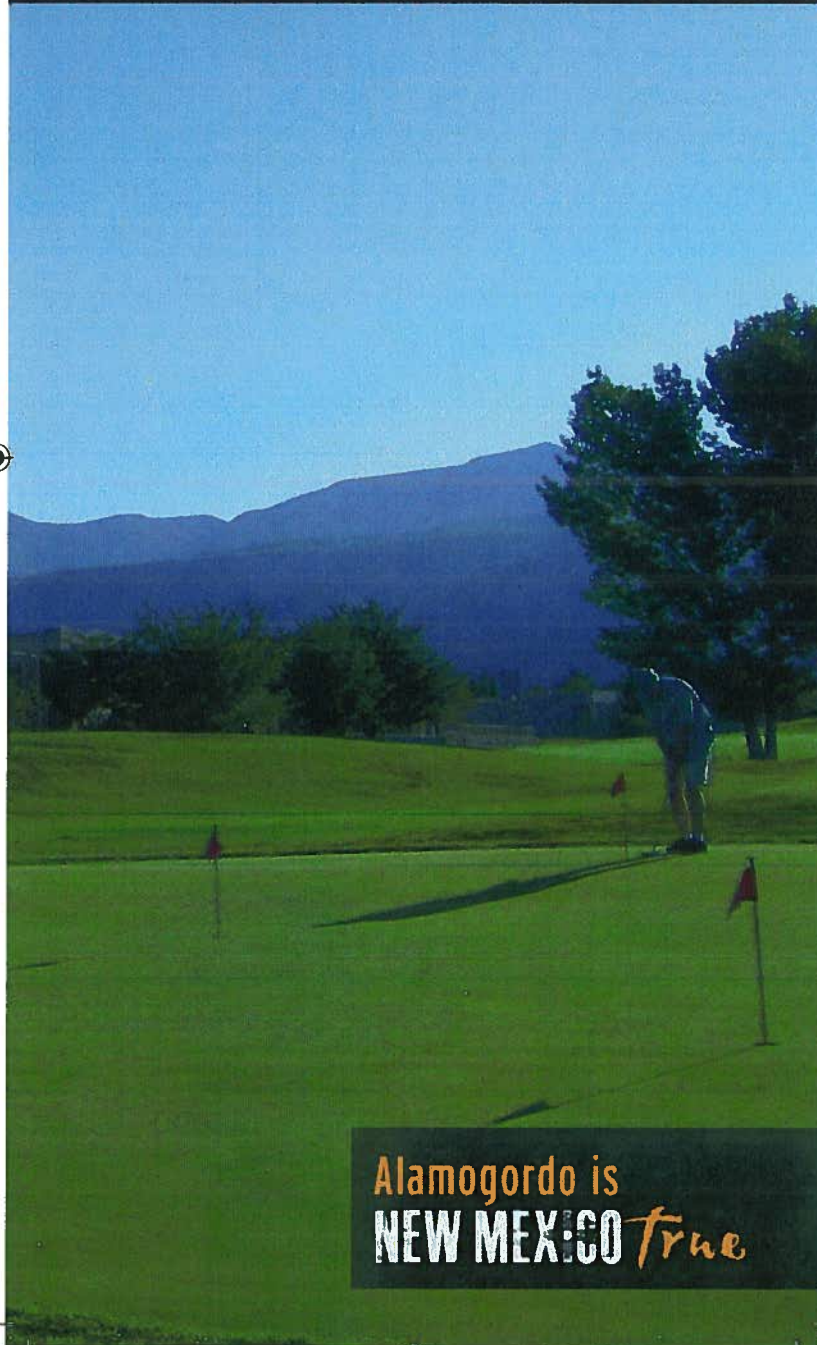
Open daily except Thanksgiving and Christmas
(575) 437-2840
www.NMSpaceMuseum.org
www.Alamogordo.com





Alamogordo

Desert Lakes Golf Course



Alamogordo is
NEW MEXICO *True*

DESERT LAKES GOLF COURSE

WINNER, 2013 CLUB OF THE YEAR

What's a vacation without a little time on the links? Here's a great place for an entire family of golfers. In 2013 Desert Lakes Golf Course was named the Club of the Year by Sun Country Amateur Golf Association in recognition of their men's and women's clubs, the staff, golf shop, food and beverage and the course itself. No wonder. The course is beautifully situated at the base of the Sacramento Mountains. The front nine is tree-lined and park-like, while the back nine is authentic links-style cut from the high New Mexican desert. All levels of golfers are welcome year round.

Don't miss the 19th hole for your favorite beverage and food!

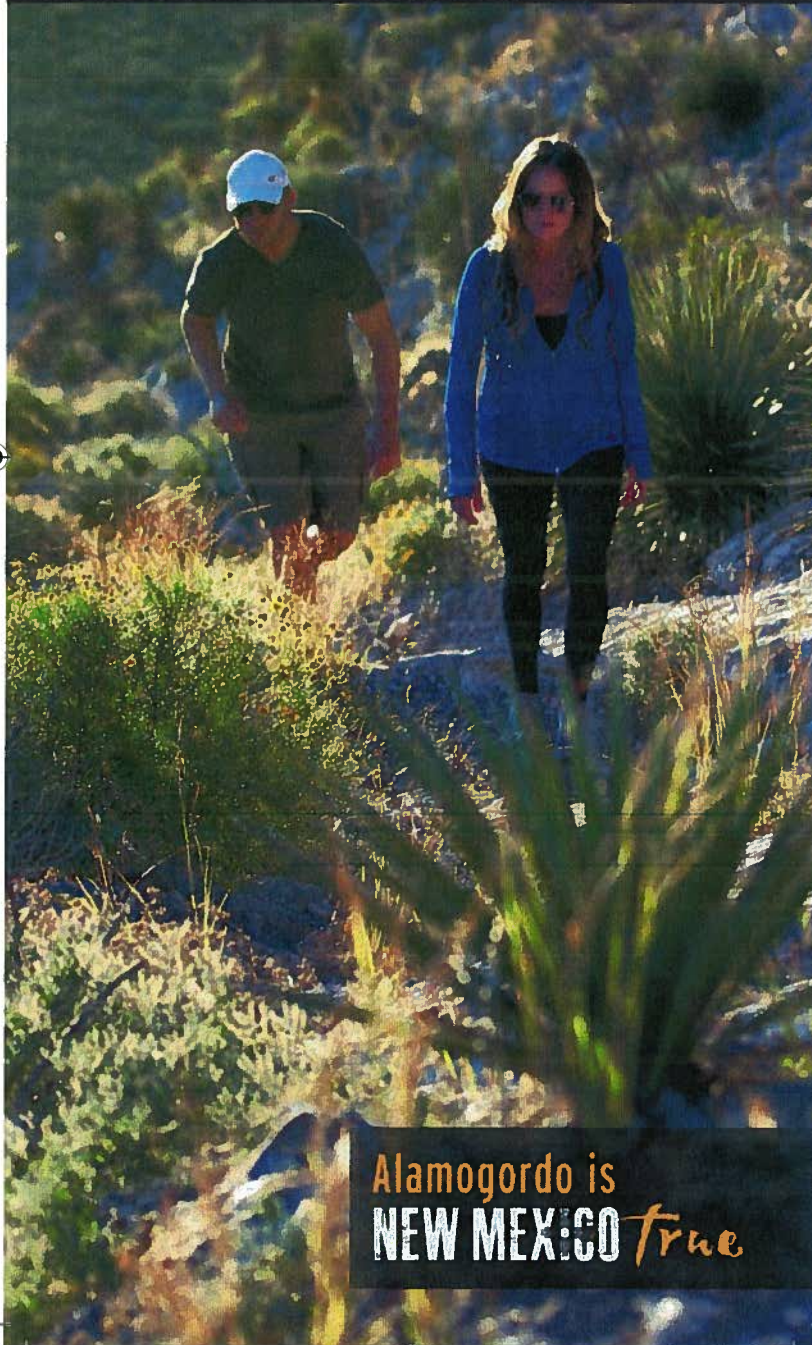
Tee times: (575) 437-0290
www.DesertLakesGolf.com
2351 Hamilton Rd in Alamogordo
www.Alamogordo.com



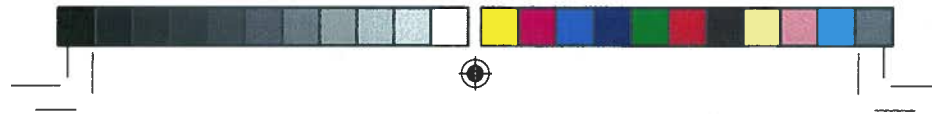


Alamogordo

Oliver Lee Memorial State Park



Alamogordo is
NEW MEXICO *True*



OLIVER LEE MEMORIAL STATE PARK

DOG CANYON RECREATIONAL TRAIL

Named for an early and influential settler in the New Mexican territory, Oliver Lee Memorial State Park occupies a dramatic place in the Sacramento Mountains a short distance south of Alamogordo at the mouth of Dog Canyon. Lee's 19th century ranch house has been restored and furnished with period pieces. A trail along Dog Canyon takes hikers to an oasis of pools under cottonwood trees. The Dog Canyon Recreational Trail climbs to an elevation that delivers striking views of the Tularosa Basin to the west and the Organ Mountains to the south. The park offers plenty of opportunities for hiking, camping, picnics and wildlife sightings.

Open daily.

The park is 12 miles south of Alamogordo on US 54.

(575) 437-8284

www.nmparks.com

www.Alamogordo.com





Alamogordo

Alameda Park Zoo



Alamogordo is
NEW MEXICO *True*



ALAMEDA PARK ZOO

VISIT THE OLDEST ZOO IN THE SOUTHWEST

"Cute," "quaint" and "nice little zoo" are just some of the reviews that visitors from across the US have given Alameda Park Zoo. Founded in 1898, Alameda Park Zoo is the oldest in the Southwest. It is certified by the Association of Zoos & Aquariums and is notable for its Species Survival Plan Captive Facility for the Mexican Gray Wolf. The zoo is home to nearly 300 animals from 90 species on 12 acres — the perfect size for smaller kids. We also have an education center, gift shop, picnic area and playground.

Open daily 9 a.m. to 5 p.m. (except Christmas and New Years)

(575) 439-4290

www.Alamogordo.com/area-attractions

1321 N. White Sands Boulevard, Alamogordo





Alamogordo

Toy Train Depot & Museum



Alamogordo is
NEW MEXICO *True*



TOY TRAIN DEPOT

HISTORY MUSEUM, G-16 TRAIN RIDE AND GIFT SHOP

The Depot contains a Gift Shop and Model Shop where railroad supplies and memorabilia are available.

HISTORY MUSEUM

There are over 1200 feet of model railroad track with running trains. There are hundreds of trains and rolling stock on display in 5 rooms of this 100 year old train depot. Also on display are pictures, books, & history of Alamogordo and the railroad's part in establishing our city. Model trains of various gauges (sizes) are also on display.

G-16 TRAIN RIDE

This is a train ride of a little over 2 miles thru Alameda Park which is about a 20 minute ride. There are four different locomotives that run on different days -including a Union Pacific, an "old timer" steamer, a B & O, and a Western Pacific.

Train Rides... \$4.00

Museum Admission... \$4.00

Combo Ticket... \$6.00

{Both: Train Ride & Museum}

Children under 3: No charge

Open Wednesday thru Sunday*

12:00 noon to 5:00pm

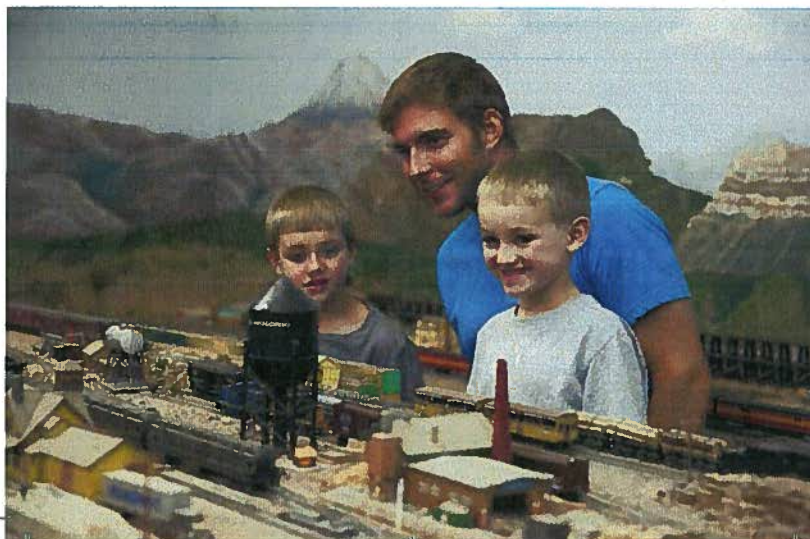
*{closed Christmas & Thanksgiving Days}

Alameda Park

1991 N. White Sand Blvd.

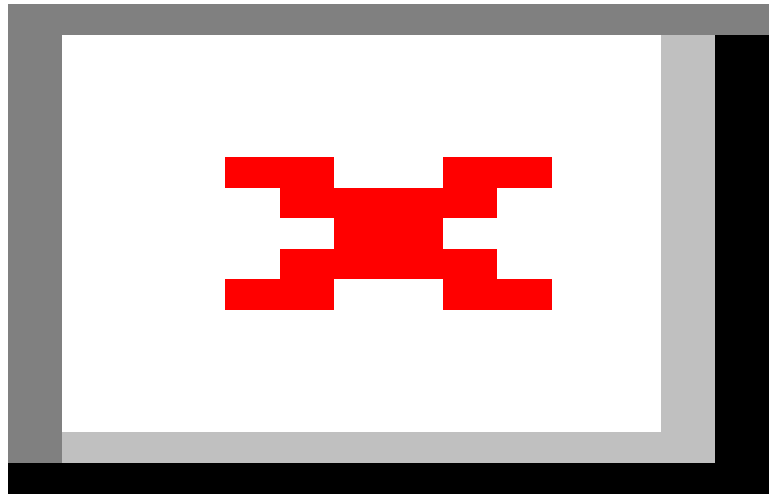
(505) 437-2855

www.Alamogordo.com



KOB-TV Spring Fling Commercial Link

<https://www.youtube.com/watch?v=B3kywbelv2c>



AGENDA REPORT

CITY OF ALAMOGORDO

CITY COMMISSION

Meeting Date: 04/12/2016

Report Date: 4/7/2016

Report No: 12.

Submitted By: Dr. George Straface, City
Manager

Subject: Consider, and act upon, funding for the Family Fun Center. (*George Straface, Interim City Manager*)

Fiscal Impact:

Amount Budgeted:

Fund:

Additional Fiscal Impact:

Recommendation: Approve funding for Family Fun Center.

Background:

LEE GAMELSKY ARCHITECTS P.C.

16 February 2016

City of Alamogordo • Family Center

Conceptual Cost Estimate • 12 Lane Facility

The following Conceptual Cost Estimate was prepared because the cost of the 16 lane facility as described in the Trifecta Management Group FEC/REC Market Feasibility Study exceeds the available monies currently budgeted. This cost estimate for a 12 lane facility includes all the other Family Entertainment areas identified in the Trifecta Study. It should also be noted that the design of the 12 lane facility can easily be added onto in the future, expanding the facility to at least 24 lanes.

As indicated in the previous Market Analysis Studies, when the 24 lane Desert Lanes Bowling Center at Holloman AFB is factored into the demographics of the Alamogordo regional area, there is a bowling lane surplus. Because access onto Holloman AFB is questionable at times for non-military personnel and bowlers, the projections for a bowling lane market analysis is not as predictable when compared to other markets. Given that revenue projections for typical family entertainment centers is evenly split 3-ways between bowling, food and beverage, and games; and that there is a specific budget for the project at this time; we recommend the City of Alamogordo proceed with the following fiscally prudent course of action:

1. Design a Base Bid Project of 12 lanes, with the other components of Gaming, and Food /Beverage as described in the Trifecta Study.
2. Design and Bid out the Base Bid project , along with an Additive Alternate of an additional 4 lanes (to create a 16 lane facility) .
3. Depending on the pricing of the bids, construct the 12 or 16 lane facility.

In this scenario, the City will build what it can afford. It will build what many of the voters expected per the bond election. It will also build a facility which can be added onto in the future if the marketplace indicates there is a justification for additional lanes.

Note: The Conceptual Cost Estimate assumes the project will need to be in compliance with NM State Wage Rates.

Lee Gamelsky AIA, LEED AP

<u>Area/Item</u>	<u>Cost</u>
------------------	-------------

Bowling Area

12 lanes total, including 4 private lanes	
11,416 GSF x \$150/SF	1,712,400
Bowling equipment: 12 x \$50,000	600,000
Seating/Furnishings	40,000

Lockers (locate along bowling concourse)	
Locker equipment (100)	10,000

Subtotal Bowling Area	\$2,362,400
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Beer Garden/Bar//Kitchen/BOH

4,500 GSF x \$150/SF	675,000
(100 seats interior)	

Kitchen Equipment	100,000
Furnishings/Seating/Misc. Equip. (160 seats)	50,000

Portal/Patio (60 seats)	
1200 SF x \$90/SF	108,000

Subtotal Beer Garden/Bar/Kitchen/BOH	\$933,000
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Game Room/Arcade and Redemption Area

3,000 GSF x \$140/SF	420,000
Game Equipment: Lease	-0-

Laser Tag Area

3,000 GSF x \$140/SF	\$420,000
Laser Tag Equipment: Lease	-0-

Subtotal Game Area	\$840,000
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Event Room

1,200 GSF x \$145/SF	\$174,000
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Subtotal Interior Programmed Spaces	23,116 GSF
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Subtotal Programmed Spaces including Portal	24,316 GSF
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Public Toilets

- Single location for entire facility
- Includes 'family toilet'
- Janitor/Custodial

	wc/u	lav
M	6	4
W	12	4

1,086 GSF x \$150/SF	\$162,900
----------------------	-----------

Misc. TARE Area		
1,989 GSF x \$140		\$278,460
(Thickness of walls, hallways, electrical, mechanical rooms, vestibules, storerooms)		

Total Building Area (not including portal)	26,191 GSF
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Subtotal (Building)	\$4,750,760
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Exterior Improvements

Outdoor landscape/courtyard area	(budget amount)	100,000
Sidewalks, utility connections		

Parking 45,000 SF x \$3.00/SF	135,000
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Subtotal Exterior Areas	\$235,000*
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Subtotal All Areas	\$4,985,760
NMGRT (8.00%)	398,861

Total Construction Cost	\$5,384,621
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* As requested by staff only a minimal amount of monies are budgeted for site improvements. However, based on a review of the Mesa Village Master Plan Community Design Standards, this budget amount may have to be increased.

LEE GAMELSKY ARCHITECTS P.C.

15 February 2016

City of Alamogordo • Family Center

Conceptual Cost Estimate • 16 Lane Facility

The following Conceptual Cost Estimate reflects the Base Square Footages indicated in the Trifecta Management Group REC Market Feasibility Study, January 2016 (page 38) for a 16 Lane Bowling Center/Family Entertainment Center.

Note: The Conceptual Cost Estimate assumes the project will need to be in compliance with NM State Wage Rates.

Area/Item	Cost
Bowling Area	
16 lanes total, including 4 private lanes	
14,641 GSF x \$150/SF	2,196,150
Bowling equipment: 16 x \$50,000	800,000
Seating/Furnishings	50,000
Lockers (locate along bowling concourse)	
Locker equipment (100)	10,000
Subtotal Bowling Area	\$3,056,150
Beer Garden/Bar//Kitchen/BOH	
4,500 GSF x \$150/SF	675,000
(100 seats interior)	
Kitchen Equipment	100,000
Furnishings/Seating/Misc. Equip. (160 seats)	50,000
Portal/Patio (60 seats)	
1200 SF x \$90/SF	108,000
Subtotal Beer Garden/Bar/Kitchen/BOH	\$933,000
Game Room/Arcade and Redemption Area	
3,000 GSF x \$140/SF	420,000
Game Equipment: Lease	-0-
Laser Tag Area	
3,000 GSF x \$140/SF	420,000
Laser Tag Equipment: Lease	-0-
Subtotal Game Area	\$840,000

Event Room**1,200 GSF x \$145/SF****\$174,000**

Subtotal Interior Programmed Spaces
 Subtotal Programmed Spaces including Portal

26,341 GSF
 27,541 GSF

Public Toilets

- Single location for entire facility
- Includes 'family toilet'
- Janitor/Custodial

	wc/u	lav
M	7	4
W	13	4

1,135 GSF x \$150/SF**\$170,250****Misc. TARE Area****1,989 GSF x \$140****\$278,460**

(Thickness of walls, hallways, electrical,
 mechanical rooms, vestibules, storerooms)

Total Building Area (not including portal)**29,465 GSF****Subtotal (Building)****\$5,451,860****Exterior Improvements**

Outdoor landscape/courtyard area
 Sidewalks, utility connections

(budget amount) 100,000**Parking 45,000 SF x \$3.00/SF****135,000****Subtotal Exterior Areas****\$235,000*****Subtotal All Areas****\$5,686,860****NMGRT (8.00%)****454,949****Total Construction Cost****\$6,141,809**

* As requested by staff only a minimal amount of monies are budgeted for site improvements. However, based on a review of the Mesa Village Master Plan Community Design Standards, this budget amount may have to be increased.

LEE GAMELSKY ARCHITECTS P.C.

15 February 2016

City of Alamogordo • Family Center

Conceptual Cost Estimate • 24 Lane Facility

The following Conceptual Cost Estimate reflects the Base Square Footages indicated in the Trifecta Management Group REC Market Feasibility Study, with a **24 Lane Bowling Center** in lieu of a 16 lane center in the FEC. The Conceptual Cost Estimate assumes the project will be priced out/constructed in compliance with NM State Wage Rates.

Area/Item	Cost
Bowling Area	
24 lanes total, including 4 private lanes	
20,859 GSF x \$150/SF	3,128,850
Bowling equipment: 24 x \$50,000	1,200,000
Seating/Furnishings	75,000
Lockers (locate along bowling concourse)	
Locker equipment (100)	10,000
Subtotal Bowling Area	\$4,413,850
Beer Garden/Bar//Kitchen/BOH	
4,500 GSF x \$150/SF	675,000
(100 seats interior)	
Kitchen Equipment	100,000
Furnishings/Seating/Misc. Equip. (160 seats)	50,000
Portal/Patio (60 seats)	
1200 SF x \$90/SF	108,000
Subtotal Beer Garden/Bar/Kitchen/BOH	\$933,000
Game Room/Arcade and Redemption Area	
3,000 GSF x \$140/SF	420,000
Game Equipment: Lease	-0-
Laser Tag Area	
3,000 GSF x \$140/SF	420,000
Laser Tag Equipment: Leased	-0-
Subtotal Game Area	\$840,000

Event Room**1,200 GSF x \$145/SF****\$174,000****Subtotal Interior Programmed Spaces****32,559 GSF****Subtotal Programmed Spaces including Portal****33,759 GSF****Public Toilets**

- Single location for entire facility
- Includes 'family toilet'
- Janitor/Custodial

	wc/u	lav
M	8	5
W	15	5

1,227 GSF x \$150/SF**\$184,050****Misc. TARE Area****1,989 GSF x \$140****\$278,460**

(Thickness of walls, hallways, electrical,
mechanical rooms, vestibules, storerooms)

Total Building Area (not including portal)**35,775 GSF****Subtotal (Building)****\$6,823,360****Exterior Improvements**

Outdoor landscape/courtyard area (budget amount)
Sidewalks, utility connections

100,000**Parking 45,000 SF x \$3.00/SF****135,000****Subtotal Exterior Areas****\$235,000*****Subtotal All Areas****\$7,058,360****NMGRT (8.00%)****564,669****Total Construction Cost****\$7,623,029**

* As requested by staff only a minimal amount of monies are budgeted for site improvements. However, based on a review of the Mesa Village Master Plan Community Design Standards, this budget amount may have to be increased.

12



16



24



AGENDA REPORT

CITY OF ALAMOGORDO

CITY COMMISSION

Meeting Date: 04/12/2016

Report Date: 4/8/2016

Report No: 13.

Submitted By: Mark Threadgill, Customer
Service Manager

Subject: Consider, and act upon, abatement of \$413.06 water billing for 1019 Sleepy Hollow Ave. *(Mark Threadgill, Customer Service Manager)*

Fiscal Impact:

Amount Budgeted:

Fund:

Additional Fiscal Impact:

Recommendation: Staff recommends denial of Mr. Barbosa's request.

Background: Mr. Joel Barbosa requested this item.

During the implementation of the radio read project it was discovered that some of the new water meters had defective ETRs and were under-reporting water consumption via radio reads. When the issue was first identified it was thought that only a few meters were affected. Subsequent investigation and testing ultimately identified approximately 10% of the installed meters suffering the defect.

The ETR on the Barbosa meter was one of the first 15 identified as being "bad". During that period, as we thought the issue was limited to a few isolated meters, we promptly issued a cancel/rebill so as not to let the issue drag on; unfortunately, we did so without notifying the customer of the issue prior to sending the cancel/rebill. Most that received such a bill called or came into the office for an explanation. Since then we have sent notifications to the customer prior to issuing the cancel/rebill.

On or about October 29, 2015, Mr. Joel Barbosa received a cancel/rebill water bill in the amount of \$429.77. This represented some 12 months where Mr. Barbosa had been under-billed for actual consumption because of a bad ETR. The total under-billed amount including GRT was \$429.77. On or about Dec. 8, 2015, I met with Mr. Barbosa in my office to answer concerns he had about the cancel/rebill. At that time I explained the situation and the need for the cancel/rebill. I explained that we would offer a payment plan for the amount of the rebill if he so desired.

Mr. Barbosa indicated that the bill did not add up – he stated that he could not come up with the proper credits and charges to equal the totals on the bill. We went through several of the categories and we could not balance the numbers. At that time I told Mr. Barbosa that I would need some time to go through the account in detail and determine what the issue was. He informed me that he would be out of town for several weeks but left a number where he could be reached.

In the subsequent days I produced a copy of the rebill mailed to Mr. Barbosa and discovered that what he

had brought in was incomplete – two pages of the bill were missing. I checked the re-print of the bill and all charges balanced; the differences identified previously were due to the two missing pages in the bill Mr. Barbosa brought in.

On or about December 15, 2015, I called the number Mr. Barbosa had left but did not make contact with him; I left a message. On or about December 29, 2015, I again spoke with Mr. Barbosa and explained that the charges balanced. He asserted that he should not be responsible for the charges as it was the City's mistake, and I explained that he did use the water and should pay for that use. He stated that he would be taking the matter to Commission.



City of Alamogordo City Commission Meeting

AGENDA REQUEST FORM

Date: # 3/23/2016

Date of Meeting: April 12, 2016

Name: Joel Barbosa

Address: 1019 Sleepy Hollow Ave
Alamogordo, NM ZIP 88310

Phone Number: 575-491-6011

E-Mail Address: _____

Item requested will be for: (Please check one)

☐ Information only

☐ Action Item

☒ Discussion/Action

☐ Public Hearing

☐ Report

☐ Other: _____

Brief description of topic to be discussed:

Please attach one original of any documents pertaining to the topic -

We do not allow handouts at the meeting

Abate #413.06 water billing for 1019 Sleepy Hollow Ave
(Joel Barbosa)

Signature: Joel Barbosa

Please return to: Nancy Jacobs, CMC, City Clerk
City of Alamogordo
1376 E. 9th Street
Alamogordo, NM 88310

Phone: (575) 439-4205

Fax: (575) 439-4396

E-mail: njacobs@ci.alamogordo.nm.us

AGENDA REPORT

CITY OF ALAMOGORDO

CITY COMMISSION

Meeting Date: 04/12/2016

Report Date: 4/8/2016

Report No: 14.

Submitted By: Stephen Thies, City Attorney

Subject: Consider, and act upon, a land lease with New Mexico RSA 6-I Partnership, d/b/a Verizon Wireless for the purpose of constructing a communications tower on City property. *(Stephen Thies, City Attorney)*

Fiscal Impact:

Amount Budgeted:

Fund:

Additional Fiscal Impact:

Recommendation: Approve Lease Agreement

Background: The City has been negotiating off and on for a few years with representatives from Verizon Wireless for a lease of an area located at Hooser Fields for the construction of a telecommunications tower. Verizon currently has two existing lease agreements with the City. The first was executed in late 2011 which allowed Verizon to install antennae on the City elevated water tank which is located west of the bypass highway. The second was executed in late 2012 for a site located adjacent to the City's at-grade water tank located across the road from NMSU-A. Both leases provided for an initial rental payment of \$12,000 per year.

The exact location of the proposed leased area can be found on page 5 of the site plans which are attached to the lease agreement. Verizon plans to construct a 75 foot monopole tower on the site. An eight foot masonry block wall be constructed around the entire perimeter of the 30' x 40' leased area to provide security for the site.

Rental terms are similar to the prior two agreements: an initial term of 5 years with the right to extend the term of the lease for upwards to 20 additional years with yearly lease payments of \$12,000. Lease payments will be increased 3% annually. Initially, Verizon is given an option which allows Verizon to conduct its due diligence. Provided they encounter no problems, the option is then converted into the lease agreement.

Staff recommends approval of the lease agreement.

OPTION AND LAND LEASE AGREEMENT

This Option and Land Lease Agreement (“Agreement”□), made as of the date of the later signature date below, between the City of Alamogordo, a municipal corporation, with its principal offices located at 1376 E. Ninth Street, Alamogordo, New Mexico 88310, hereinafter designated “LESSOR” and New Mexico RSA 6-I Partnership, d/b/a Verizon Wireless, with its principal offices located at One Verizon Way, Mail Stop 4AW100, Basking Ridge, New Jersey 07920 (telephone number 866-862-4404), hereinafter designated “LESSEE.” LESSOR and LESSEE are at times collectively referred to hereinafter as the “Parties” or individually as the “Party.”

LESSOR is the owner of that certain real property located at 2101 South Walker Avenue, City of Alamogordo, County of Otero, State of New Mexico (the entirety of LESSOR’s property is referred to hereinafter as the “Property”). LESSEE desires to obtain an option to lease a portion of said Property, being described as an approximately thirty foot (30') by forty foot (40') parcel containing twelve hundred (1200) square feet (the “Land Space”), together with the non-exclusive rights (the “Rights of Way”) for ingress and egress, seven (7) days a week twenty-four (24) hours a day, on foot or motor vehicle, including trucks over or along a twenty (20') foot wide right-of-way extending from the nearest public right-of-way, Dora Avenue, to the Land Space, and for the installation and maintenance of utility wires, poles, cables, conduits, and pipes over, under, or along one or more rights of way from the Land Space, said Land Space and Rights of Way (hereinafter collectively referred to as the “Premises”) being substantially as described herein in Exhibit "B" attached hereto and made a part hereof.

OPTION

NOW THEREFORE, in consideration of the sum of One Thousand Five Hundred and 00/100 Dollars (\$1500.00), to be paid by LESSEE to LESSOR, LESSOR hereby grants to LESSEE the right and option to lease said Premises, for the term and in accordance with the covenants and conditions set forth herein. The foregoing payment shall be made by LESSEE within forty five (45) days of full execution of this Agreement or of receipt by LESSEE from LESSOR of the Rental Documentation, as defined in and in accordance with Paragraph 3 of the Agreement below, whichever occurs later. The providing by LESSOR of Rental Documentation to LESSEE shall be a prerequisite for the payment of the foregoing amount or any other option or rental payment, if applicable, by LESSEE, and notwithstanding anything to the contrary herein, LESSEE shall have no obligation to make any payment(s) until Rental Documentation has been supplied to LESSEE.

The option may be exercised at any time on or prior to twelve (12) months after the date of full execution of this Agreement. If the option has not been so exercised, it shall be automatically extended for one additional period of twelve (12) months, unless LESSEE gives written notice to LESSOR of the intent not to extend prior to the end of the initial option period. If the option is extended, LESSEE shall make an additional payment of One Thousand Five Hundred and 00/100 Dollars (\$1500.00) to LESSOR within thirty (30) days of the option being extended, provided LESSOR has supplied to LESSEE the Rental Documentation, as defined in and in accordance with Paragraph 3 of the Agreement below. The time during which the option may be exercised

may be further extended by mutual agreement in writing. If during said option period, or during the term of the lease, if the option is exercised, LESSOR decides to subdivide, sell or change the status of the Property or LESSOR's property contiguous thereto LESSOR shall immediately notify LESSEE in writing so that LESSEE can take steps necessary to protect LESSEE's interest in the Premises.

This option may be sold, assigned or transferred by LESSEE without any approval or consent of LESSOR to LESSEE's principal, affiliates, subsidiaries of its principal; to any entity which acquires all or substantially all of LESSEE's assets in the market defined by the Federal Communications Commission in which the Property is located by reason of a merger, acquisition or other business reorganization; or to any entity which acquires or receives an interest in the majority of communication towers of LESSEE in the market defined by the Federal Communications Commission in which the Property is located. As to other parties, this Agreement may not be sold, assigned or transferred without the written consent of LESSOR, which such consent will not be unreasonably withheld, delayed or conditioned. No change of stock ownership, partnership interest or control of LESSEE or transfer upon partnership or corporate dissolution of LESSEE shall constitute an assignment hereunder.

Should LESSEE fail to exercise this option or any extension thereof within the time herein limited, all rights and privileges granted hereunder shall be deemed completely surrendered, this option terminated, and LESSOR shall retain all money paid for the option, and no additional money shall be payable by either Party to the other.

LESSOR shall cooperate with LESSEE in its effort to obtain all certificates, permits and other approvals that may be required by any Federal, State or Local authorities which will permit LESSEE use of the Premises. LESSOR shall take no action which would adversely affect the status of the Property with respect to the proposed use by LESSEE.

LESSOR shall permit LESSEE, during the option period, free ingress and egress to the Premises to conduct such surveys, inspections, structural strength analysis, subsurface soil tests, and other activities of a similar nature as LESSEE may deem necessary, at the sole cost of LESSEE.

LESSOR agrees to execute a Memorandum of this Option and Land Lease Agreement which LESSEE may record with the appropriate Recording Officer. The date set forth in the Memorandum of Option to Lease is for recording purposes only and bears no reference to commencement of either term or rent payments.

Notice of the exercise of the option ("Notice") shall be given by LESSEE to LESSOR in writing by certified mail, return receipt requested, or by commercial courier, provided the courier's regular business is delivery service. LESSEE shall be deemed to have exercised the option and the following agreement shall take effect on the date specified in writing by LESSEE in the Notice, provided such date shall not be later than the date of the expiration of the option period.

This option is subject to Paragraphs 8, 9, 10(a), 11, 14, 15, and 20 of the Land Lease Agreement. LESSOR and LESSEE agree to the obligations set forth in those Paragraphs during the option period.

LAND LEASE AGREEMENT

This Land Lease Agreement ("Agreement"), made as of the date of the later signature date below, between The City of Alamogordo, a municipal corporation, with its mailing address located at 1376 E. Ninth Street, Alamogordo, New Mexico 88310, hereinafter designated "LESSOR" and New Mexico RSA 6-I Partnership, d/b/a Verizon Wireless, with its principal office located at One Verizon Way, Mail Stop 4AW100, Basking Ridge, New Jersey 07920 (telephone number 866-862-4404), hereinafter designated "LESSEE." LESSOR and LESSEE are at times collectively referred to hereinafter as the "Parties" or individually as the "Party."

1. PREMISES. LESSOR hereby leases to LESSEE a portion of that certain parcel of property (the entirety of LESSOR's property is referred to hereinafter as the "Property"), located at 2101 South Walker Avenue, City of Alamogordo, County of Otero State of New Mexico, and being described as a thirty foot (30 ') by forty foot (40 ') parcel containing twelve hundred (1200) square feet (the "Land Space"), together with the non-exclusive rights (the "Rights of Way") for ingress and egress, seven (7) days a week twenty-four (24) hours a day, on foot or motor vehicle, including trucks over or along a twenty (20 ') foot wide right-of-way extending from the nearest public right-of-way, Dora Avenue, to the Land Space, and for the installation and maintenance of utility wires, poles, cables, conduits, and pipes over, under, or along one or more rights of way from the Land Space, said Land Space and Rights of Way (hereinafter collectively referred to as the "Premises") being substantially as described herein in Exhibit "B" attached hereto and made a part hereof.

In the event any public utility is unable to use the Rights of Way, LESSOR hereby agrees to grant an additional right-of-way either to LESSEE or to the public utility at no cost to the LESSEE.

2. SURVEY. LESSOR also hereby grants to LESSEE the right to survey the Property and the Premises, and said survey shall then become Exhibit "C" which shall be attached hereto and made a part hereof, and shall control in the event of boundary and access discrepancies between it and Exhibit "B." Cost for such work shall be borne by LESSEE.

3. TERM; RENTAL. This Agreement shall be effective as of the date of execution by both Parties, provided, however, the initial term shall be for five (5) years and shall commence on the Commencement Date (as hereinafter defined) at which time rental payments shall commence and be due at a total annual rental of Twelve Thousand and 00/100 Dollars (\$12,000.00) to be paid in equal monthly installments on the first day of the month, in advance, to LESSOR or to such other person, firm or place as LESSOR may, from time to time, designate in writing at least thirty (30) days in advance of any rental payment date by notice given in accordance with Paragraph 23 below. Upon agreement of the Parties, LESSEE may pay rent by electronic funds transfer and in such event, LESSOR agrees to provide to LESSEE bank routing information for such purpose upon request of LESSEE. The Commencement Date shall be the

first day of the month in which notice of the exercise of the option, as set forth above, is effective. However, LESSOR and LESSEE acknowledge and agree that initial rental payment(s) shall not actually be sent by LESSEE until thirty (30) days after the exercise of the option is effective.

LESSOR hereby agrees to provide to LESSEE certain documentation (the "Rental Documentation") evidencing LESSOR's interest in, and right to receive payments under, this Agreement, including without limitation: (i) documentation, acceptable to LESSEE in LESSEE's reasonable discretion, evidencing LESSOR's good and sufficient title to and/or interest in the Property and right to receive rental payments and other benefits hereunder; (ii) a complete and fully executed Internal Revenue Service Form W-9, or equivalent, in a form acceptable to LESSEE, for any party to whom rental payments are to be made pursuant to this Agreement; and (iii) other documentation requested by LESSEE in LESSEE's reasonable discretion. From time to time during the Term of this Agreement and within thirty (30) days of a written request from LESSEE, LESSOR agrees to provide updated Rental Documentation in a form reasonably acceptable to LESSEE. The Rental Documentation shall be provided to LESSEE in accordance with the provisions of and at the address given in Paragraph 23. Delivery of Rental Documentation to LESSEE shall be a prerequisite for the payment of any rent by LESSEE and notwithstanding anything to the contrary herein, LESSEE shall have no obligation to make any rental payments until Rental Documentation has been supplied to LESSEE as provided herein.

Within fifteen (15) days of obtaining an interest in the Property or this Agreement, any assignee(s) or transferee(s) of LESSOR shall provide to LESSEE Rental Documentation in the manner set forth in the preceding paragraph. From time to time during the Term of this Agreement and within thirty (30) days of a written request from LESSEE, any assignee(s) or transferee(s) of LESSOR agrees to provide updated Rental Documentation in a form reasonably acceptable to LESSEE. Delivery of Rental Documentation to LESSEE by any assignee(s) or transferee(s) of LESSOR shall be a prerequisite for the payment of any rent by LESSEE to such party and notwithstanding anything to the contrary herein, LESSEE shall have no obligation to make any rental payments to any assignee(s) or transferee(s) of LESSOR until Rental Documentation has been supplied to LESSEE as provided herein.

4. EXTENSIONS. This Agreement shall automatically be extended for four (4) additional five (5) year terms unless LESSEE terminates the Agreement at the end of the then current term by giving LESSOR written notice of the intent to terminate at least six (6) months prior to the end of the then current term.

5. ANNUAL INCREASES. Commencing on the first (1st) annual anniversary of the Commencement Date and on each annual anniversary thereafter, the annual rental shall increase by an amount equal to three percent (3%) of the annual rental payable with respect to the immediately preceding year.

6. ADDITIONAL EXTENSIONS. If at the end of the fourth (4th) five (5) year extension term this Agreement has not been terminated by either Party by giving to the other written notice of an intention to terminate it at least three (3) months prior to the end of such term, this Agreement shall continue in force upon the same covenants, terms and conditions for a further

term of five (5) years and for five (5) year terms thereafter until terminated by either Party by giving to the other written notice of its intention to so terminate at least three (3) months prior to the end of such term. The initial term and all extensions shall be collectively referred to herein as the "Term."

7. TAXES. LESSEE shall have the responsibility to pay any personal property, real estate taxes, assessments, or charges owed on the Property which LESSOR demonstrates is the result of LESSEE's use of the Premises and/or the installation, maintenance, and operation of the LESSEE's improvements, and any sales tax imposed on the rent (except to the extent that LESSEE is or may become exempt from the payment of sales tax in the jurisdiction in which the Property is located), including any increase in real estate taxes at the Property which LESSOR demonstrates arises from LESSEE's improvements and/or LESSEE's use of the Premises. LESSOR and LESSEE shall each be responsible for the payment of any taxes, levies, assessments and other charges imposed including franchise and similar taxes imposed upon the business conducted by LESSOR or LESSEE at the Property, respectively. Notwithstanding the foregoing, LESSEE shall not have the obligation to pay any tax, assessment, or charge that LESSEE is disputing in good faith in appropriate proceedings prior to a final determination that such tax is properly assessed provided that no lien attaches to the Property. Nothing in this Paragraph shall be construed as making LESSEE liable for any portion of LESSOR's income taxes in connection with any Property or otherwise. Except as set forth in this Paragraph, LESSOR shall have the responsibility to pay any personal property, real estate taxes, assessments, or charges owed on the Property and shall do so prior to the imposition of any lien on the Property.

LESSEE shall have the right, at its sole option and at its sole cost and expense, to appeal, challenge or seek modification of any tax assessment or billing for which LESSEE is wholly or partly responsible for payment. LESSOR shall reasonably cooperate with LESSEE at LESSEE's expense in filing, prosecuting and perfecting any appeal or challenge to taxes as set forth in the preceding sentence, including but not limited to, executing any consent, appeal or other similar document. In the event that as a result of any appeal or challenge by LESSEE, there is a reduction, credit or repayment received by the LESSOR for any taxes previously paid by LESSEE, LESSOR agrees to promptly reimburse to LESSEE the amount of said reduction, credit or repayment. In the event that LESSEE does not have the standing rights to pursue a good faith and reasonable dispute of any taxes under this paragraph, LESSOR will pursue such dispute at LESSEE's sole cost and expense upon written request of LESSEE.

8. USE; GOVERNMENTAL APPROVALS. LESSEE shall use the Premises for the purpose of constructing, maintaining, repairing and operating a communications facility and uses incidental thereto. A security fence consisting of chain link construction or similar but comparable construction may be placed around the perimeter of the Premises at the discretion of LESSEE (not including the access easement). All improvements, equipment, antennas and conduits shall be at LESSEE's expense and their installation shall be at the discretion and option of LESSEE. LESSEE shall have the right to replace, repair, add or otherwise modify its utilities, equipment, antennas and/or conduits or any portion thereof and the frequencies over which the equipment operates, whether the equipment, antennas, conduits or frequencies are specified or not on any exhibit attached hereto, during the Term. The Premises shall be used exclusively by LESSEE only for its authorized purposes, and no other purpose. LESSEE's use with respect to the Property shall be

non-exclusive, and LESSOR specifically reserves the right to allow the Property to be used by other parties and for LESSOR to make additions, deletions, or modifications to its own facilities on the Property in accordance with the terms of this Agreement. LESSEE shall ensure that LESSEE's use of the Premises and/or improvements comply with the Alamogordo Municipal Airport Hazards Zoning Ordinance, Article 4-07 of the City of Alamogordo Code of Ordinances. Before commencing any subsequent material alterations to the Property, LESSEE shall submit plans and specifications to LESSOR for LESSOR's written approval, which approval shall not be unreasonably withheld, conditioned or delayed; provided however, LESSOR's prior consent shall not be required for modifications of "like-kind" equipment which is comparable in dimensions and weight and wholly contained within LESSEE's Premises. In the event LESSOR does not either: (i) object to the plans in writing or (ii) furnish LESSEE with written approval within fifteen (15) days of the date of submission of the plans, LESSOR shall be deemed to have approved them. All work to be done by LESSEE shall be performed in accordance with the approved plans unless otherwise approved in writing by LESSOR, which approval shall not be unreasonably withheld, conditioned or delayed. It is understood and agreed that LESSEE's ability to use the Premises is contingent upon its obtaining after the execution date of this Agreement all of the certificates, permits and other approvals (collectively the "Governmental Approvals") that may be required by any Federal, State or Local authorities as well as satisfactory soil boring tests which will permit LESSEE use of the Premises as set forth above. LESSOR shall cooperate with LESSEE in its effort to obtain such approvals and shall take no action which would adversely affect the status of the Property with respect to the proposed use thereof by LESSEE. In the event that (i) any of such applications for such Governmental Approvals should be finally rejected; (ii) any Governmental Approval issued to LESSEE is canceled, expires, lapses, or is otherwise withdrawn or terminated by governmental authority; (iii) LESSEE determines that such Governmental Approvals may not be obtained in a timely manner; (iv) LESSEE determines that any soil boring tests are unsatisfactory; (v) LESSEE determines that the Premises is no longer technically compatible for its use, or (vi) LESSEE, in its sole discretion, determines that the use of the Premises is obsolete or unnecessary, LESSEE shall have the right to terminate this Agreement. Notice of LESSEE's exercise of its right to terminate shall be given to LESSOR in writing by certified mail, return receipt requested, and shall be effective upon the mailing of such notice by LESSEE, or upon such later date as designated by LESSEE. All rentals paid to said termination date shall be retained by LESSOR. Upon such termination, this Agreement shall be of no further force or effect except to the extent of the representations, warranties and indemnities made by each Party to the other hereunder. Otherwise, the LESSEE shall have no further obligations for the payment of rent to LESSOR.

LESSEE shall, at its expense, comply with all applicable federal laws, rules and regulations (including but not limited to applicable laws relating to health, safety, radio frequency emissions, and radiation) in connection with the use, operation, maintenance, construction and/or installation of improvements, equipment, antennas, and conduits on the Premises.

All improvements, equipment, antennas, conduits and any security fence shall be installed and constructed on the Premises in a good and workmanlike manner in compliance with applicable laws, and without the attachment of any construction liens. In the event of such lien, LESSEE shall resolve such lien after receipt of notice of the same. All improvements and conduits shall be LESSEE's personal property.

9. INDEMNIFICATION. LESSEE shall indemnify, defend and hold harmless LESSOR, its officers, agents, and employees from any liability, losses, expenses, damages, demands, claims and judgments, including court costs and reasonably attorney's fees, to the extent caused by LESSEE's negligence or willful misconduct. The liability of LESSOR shall be subject in all case to the immunities and limitations of the New Mexico Tort Claims Act, Section 41-41-1 et seq., NMSA 1978, as amended.

10. INSURANCE.

a. LESSEE will maintain at its own cost:

- i. Commercial General Liability insurance, with an insurance company authorized to do business in the State of New Mexico, in the amount of \$1,000,000 per occurrence for bodily injury (including death) and property damage and \$1,000,000 general aggregate;
- ii. Commercial Auto Liability insurance on all owned, non-owned and hired automobiles with a combined single limit of not less than \$1,000,000 each accident or bodily injury and property damage; and
- iii. Workers Compensation insurance providing the statutory benefits and Employer's Liability with a limit of \$1,000,000 each accident/disease/policy limit.

LESSEE will include LESSOR as an additional insured as the interest may appear under this Agreement on the Commercial General Liability and Auto Liability policies and will provide a certificate of insurance evidencing the required coverage supporting documentation to reflect such status.

- b. LESSOR will maintain at its own cost commercial general liability insurance with limits not less than \$700,000 per occurrence for bodily injury (including death) and \$200,000 for damage or destruction to property in any one occurrence.

11. LIMITATION OF LIABILITY. Except for indemnification pursuant to paragraphs 9 and 29, neither Party shall be liable to the other, or any of their respective agents, representatives, employees for any lost revenue, lost profits, loss of technology, rights or services, incidental, punitive, indirect, special or consequential damages, loss of data, or interruption or loss of use of service, even if advised of the possibility of such damages, whether under theory of contract, tort (including negligence), strict liability or otherwise.

12. INTENTIONALLY DELETED.

13. INTERFERENCE. LESSEE agrees to install equipment of the type and frequency which will not cause interference to LESSOR or other lessees of the Property which existed on the Property prior to the date this Agreement is executed by the Parties. In the event any after-installed LESSEE's equipment causes such interference, and after LESSOR has notified LESSEE in writing of such interference, LESSEE will take all commercially reasonable steps necessary to correct and eliminate the interference, including but not limited to, at LESSEE's option, powering down such equipment and later powering up such equipment for intermittent testing, within thirty (30) days of said notice. In the event LESSEE fails to so correct such interference after said notice and time period, LESSEE shall be in default under this Agreement. LESSOR agrees that LESSOR and/or any other tenants of the Property who currently have or in the future take possession of the Property will be permitted to install only such equipment that is of the type and frequency which will not cause harmful interference which is measurable in accordance with then existing industry standards to the then existing equipment of LESSEE. However, LESSOR shall not be required to bring any legal action against the interfering tenant. Nothing in this section or Agreement shall be deemed to limit LESSEE's right of action against the interfering tenant.

14. REMOVAL AT END OF TERM. LESSEE shall, upon expiration of the Term, or within ninety (90) days after any earlier termination of the Agreement, remove its building(s), antenna structure(s) (except footings), equipment, conduits, fixtures and all personal property and restore the Premises to its original condition, reasonable wear and tear and casualty damage excepted. LESSOR agrees and acknowledges that all of the equipment, conduits, fixtures and personal property of LESSEE shall remain the personal property of LESSEE and LESSEE shall have the right to remove the same at any time during the Term, whether or not said items are considered fixtures and attachments to real property under applicable Laws (as defined in Paragraph 33 below). If such time for removal causes LESSEE to remain on the Premises after termination of this Agreement, LESSEE shall pay rent at the then existing monthly rate or on the existing monthly pro-rata basis if based upon a longer payment term, until such time as the removal of the building, antenna structure, fixtures and all personal property are completed. All costs and expenses for the removal and restoration to be performed by LESSEE pursuant to this Paragraph shall be borne by LESSEE, and LESSEE shall hold LESSOR harmless from any portion thereof. Should LESSEE fail to complete the removal and restoration within the ninety (90) day period, LESSOR may complete the work and LESSEE shall be liable for the reasonable cost thereof within thirty (30) days after receipt of an invoice from LESSOR.

15. HOLDOVER. LESSEE has no right to retain possession of the Premises or any part thereof beyond the expiration of that removal period set forth in Paragraph 14 herein, unless the Parties are negotiating a new lease or lease extension in good faith. In the event that the Parties are not in the process of negotiating a new lease or lease extension in good faith, LESSEE holds over in violation of Paragraph 14 and this Paragraph 15, then the rent then in effect payable from and after the time of the expiration or earlier removal period set forth in Paragraph 14 shall be equal to the rent applicable during the month immediately preceding such expiration or earlier termination. Any such holding over shall be construed as a tenancy from month to month and LESSEE shall be bound by all terms and conditions of this Agreement but only as they are applicable to a month-to-month tenancy. Nothing in this Agreement shall be construed to grant LESSEE the right to hold over at any time.

16. RIGHT OF FIRST REFUSAL. If LESSOR elects, during the Term (i) to sell or otherwise transfer all or any portion of the Property, whether separately or as part of a larger parcel of which the Property is a part, or (ii) grant to a third party by easement or other legal instrument an interest in and to that portion of the Property occupied by LESSEE, or a larger portion thereof, for the purpose of operating and maintaining communications facilities or the management thereof, with or without an assignment of this Agreement to such third party, LESSEE shall have the right of first refusal to meet any bona fide offer of sale or transfer on the same terms and conditions of such offer. If LESSEE fails to meet such bona fide offer within thirty (30) days after written notice thereof from LESSOR, LESSOR may sell or grant the easement or interest in the Property or portion thereof to such third person in accordance with the terms and conditions of such third party offer.

17. RIGHTS UPON SALE. Should LESSOR, at any time during the Term decide (i) to sell or transfer all or any part of the Property to a purchaser other than LESSEE, or (ii) to grant to a third party by easement or other legal instrument an interest in and to that portion of the Property occupied by LESSEE, or a larger portion thereof, for the purpose of operating and maintaining communications facilities or the management thereof, such sale or grant of an easement or interest therein shall be under and subject to this Agreement and any such purchaser or transferee shall recognize LESSEE's rights hereunder under the terms of this Agreement. To the extent that LESSOR grants to a third party by easement or other legal instrument an interest in and to that portion of the Property occupied by LESSEE for the purpose of operating and maintaining communications facilities or the management thereof and in conjunction therewith, assigns this Agreement to said third party, LESSOR shall not be released from its obligations to LESSEE under this Agreement, and LESSEE shall have the right to look to LESSOR and the third party for the full performance of this Agreement.

18. QUIET ENJOYMENT. LESSOR covenants that LESSEE, on paying the rent and performing the covenants herein, shall peaceably and quietly have, hold and enjoy the Premises.

19. TITLE. LESSOR represents and warrants to LESSEE as of the execution date of this Agreement, and covenants during the Term that LESSOR is seized of good and sufficient title and interest to the Property and has full authority to enter into and execute this Agreement. LESSOR further covenants during the Term that there are no liens, judgments or impediments of title on the Property which would adversely affect LESSEE's permitted use and enjoyment of the Premises under this Agreement, or affecting LESSOR's title to the same and that there are no covenants, easements or restrictions which prevent or adversely affect the use or occupancy of the Premises by LESSEE as set forth above.

20. INTEGRATION. It is agreed and understood that this Agreement contains all agreements, promises and understandings between LESSOR and LESSEE and that no verbal or oral agreements, promises or understandings shall be binding upon either LESSOR or LESSEE in any dispute, controversy or proceeding at law, and any addition, variation or modification to this Agreement shall be void and ineffective unless made in writing signed by the Parties or by written acknowledgement in the case provided in Paragraph 3. In the event any provision of the Agreement is found to be invalid or unenforceable, such finding shall not affect the validity and

enforceability of the remaining provisions of this Agreement. The failure of either Party to insist upon strict performance of any of the terms or conditions of this Agreement or to exercise any of its rights under the Agreement shall not waive such rights and such Party shall have the right to enforce such rights at any time and take such action as may be lawful and authorized under this Agreement, in law or in equity.

21. GOVERNING LAW. This Agreement and the performance thereof shall be governed, interpreted, construed and regulated by the Laws of the State of New Mexico.

22. ASSIGNMENT. This Agreement may be sold, assigned or transferred by the LESSEE without any approval or consent of the LESSOR to the LESSEE's principal, affiliates, subsidiaries of its principal or to any entity which acquires all or substantially all of LESSEE's assets in the market defined by the Federal Communications Commission in which the Property is located by reason of a merger, acquisition or other business reorganization. As to other parties, this Agreement may not be sold, assigned or transferred without the written consent of the LESSOR, which such consent will not be unreasonably withheld, delayed or conditioned. No change of stock ownership, partnership interest or control of LESSEE or transfer upon partnership or corporate dissolution of LESSEE shall constitute an assignment hereunder. LESSEE may sublet the Premises within its sole discretion, upon notice to LESSOR. Any sublease that is entered into by LESSEE shall be subject to the provisions of this Agreement and shall be binding upon the successors, assigns, heirs and legal representatives of the respective Parties hereto.

23. NOTICES. All notices hereunder must be in writing and shall be deemed validly given if sent by certified mail, return receipt requested or by commercial courier, provided the courier's regular business is delivery service and provided further that it guarantees delivery to the addressee by the end of the next business day following the courier's receipt from the sender, addressed as follows (or any other address that the Party to be notified may have designated to the sender by like notice):

LESSOR: City of Alamogordo
1376 East 9th Street
Alamogordo, New Mexico 88310

LESSEE: New Mexico RSA 6-I Partnership,
d/b/a Verizon Wireless
180 Washington Valley Road
Bedminster, New Jersey 07921
Attention: Network Real Estate
Site: NM6 Notah Bagay

Notice shall be effective upon actual receipt or refusal as shown on the receipt obtained pursuant to the foregoing.

24. SUCCESSORS. This Agreement shall extend to and bind the heirs, personal representative, successors and assigns of the Parties hereto.

25. INTENTIONALLY DELETED.

26. RECORDING. LESSOR agrees to execute a Memorandum of this Agreement which LESSEE may record with the appropriate recording officer. The date set forth in the Memorandum of Lease is for recording purposes only and bears no reference to commencement of either the Term or rent payments.

27. DEFAULT.

a. In the event there is a breach by LESSEE with respect to any of the provisions of this Agreement or its obligations under it, including the payment of rent, LESSOR shall give LESSEE written notice of such breach. After receipt of such written notice, LESSEE shall have fifteen (15) days in which to cure any monetary breach and thirty (30) days in which to cure any non-monetary breach, provided LESSEE shall have such extended period as may be required beyond the thirty (30) days if the nature of the cure is such that it reasonably requires more than thirty (30) days and LESSEE commences the cure within the thirty (30) day period and thereafter continuously and diligently pursues the cure to completion. LESSOR may not maintain any action or effect any remedies for default against LESSEE unless and until LESSEE has failed to cure the breach within the time periods provided in this Paragraph.

b. In the event there is a breach by LESSOR with respect to any of the provisions of this Agreement or its obligations under it, LESSEE shall give LESSOR written notice of such breach. After receipt of such written notice, LESSOR shall have thirty (30) days in which to cure any such breach, provided LESSOR shall have such extended period as may be required beyond the thirty (30) days if the nature of the cure is such that it reasonably requires more than thirty (30) days and LESSOR commences the cure within the thirty (30) day period and thereafter continuously and diligently pursues the cure to completion. LESSEE may not maintain any action or effect any remedies for default against LESSOR unless and until LESSOR has failed to cure the breach within the time periods provided in this Paragraph.

28. REMEDIES. Upon a default, the non-defaulting Party may at its option (but without obligation to do so), perform the defaulting Party's duty or obligation on the defaulting Party's behalf, including but not limited to the obtaining of reasonably required insurance policies. The costs and expenses of any such performance by the non-defaulting Party shall be due and payable by the defaulting Party upon invoice therefor. In the event of a default by either Party with respect to a material provision of this Agreement, without limiting the non-defaulting Party in the exercise of any right or remedy which the non-defaulting Party may have by reason of such default, the non-defaulting Party may terminate the Agreement and/or pursue any remedy now or hereafter available to the non-defaulting Party under the Laws or judicial decisions of the state in which the Premises are located; provided, however, LESSOR shall use reasonable efforts to mitigate its damages in connection with a default by LESSEE.

29. ENVIRONMENTAL.

a. LESSOR will be responsible for all obligations of compliance with any and all environmental and industrial hygiene laws, including any regulations, guidelines, standards, or policies of any governmental authorities regulating or imposing standards of liability or standards of conduct with regard to any environmental or industrial hygiene conditions or concerns as may now or at any time hereafter be in effect, that are or were in any way related to activity now conducted in, on, or in any way related to the Property, unless such conditions or concerns are caused by the specific activities of LESSEE in the Premises.

b. LESSEE will be responsible for and will defend, indemnify, and hold LESSOR, its agents, and employees harmless from and against any claims, costs, and liabilities, including reasonable attorney's fees and costs, due to the cleanup or restoration of the Property to the extent resulting from LESSEE's use of Hazardous Materials. For purposes of this Agreement, "Hazardous Materials" specifically includes, without limitation, asbestos, fuel, batteries or any hazardous substance, waste, or materials as defined in any federal, state, or local environmental or safety law or regulations including, but not limited to, the Comprehensive Environmental Response, Compensation, and Liability Act. LESSEE represents and warrants that its use of the Property will not generate and LESSEE will not store or dispose of on the Property, nor transport to or over the Property, any Hazardous Materials in violation of applicable law, unless LESSEE specifically informs LESSOR thereof in writing at least twenty-four (24) hours prior to such storage, disposal or transport, or otherwise as soon as LESSEE becomes aware of the existence of Hazardous Materials on the Property. Notwithstanding the foregoing, LESSOR hereby acknowledges and consents to LESSEE's use of such Hazardous Materials that are customary in the construction, operation and maintenance of LESSEE's communications facilities, so long as such use does not violate applicable laws. The obligations of this Paragraph shall survive the expiration or other termination of this Agreement.

30. CASUALTY. In the event of damage by fire or other casualty to the Premises that cannot reasonably be expected to be repaired within forty-five (45) days following same, then LESSEE may, at any time following such fire or other casualty, provided LESSOR has not completed the restoration required to permit LESSEE to resume its operation at the Premises, terminate this Agreement upon fifteen (15) days prior written notice to LESSOR. Any such notice of termination shall cause this Agreement to expire with the same force and effect as though the date set forth in such notice were the date originally set as the expiration date of this Agreement and the Parties shall make an appropriate adjustment, as of such termination date, with respect to payments due to the other under this Agreement.

31. CONDEMNATION. In the event of any condemnation of all or any portion of the Property, this Agreement shall terminate as to the part so taken as of the date the condemning authority takes title or possession, whichever occurs first. If as a result of a partial condemnation of the Premises or Property, LESSEE, in LESSEE's sole discretion, is unable to use the Premises for the purposes intended hereunder, or if such condemnation may reasonably be expected to disrupt LESSEE's operations at the Premises for more than forty-five (45) days, LESSEE may, at LESSEE's option, to be exercised in writing within fifteen (15) days after LESSOR shall have given LESSEE written notice of such taking (or in the absence of such notice, within fifteen (15) days after the condemning authority shall have taken possession) terminate this Agreement as of the date the condemning authority takes such possession. LESSEE may on its own behalf make

a claim in any condemnation proceeding involving the Premises for losses related to the equipment, conduits, fixtures, its relocation costs and its damages and losses (but not for the loss of its leasehold interest). Any such notice of termination shall cause this Agreement to expire with the same force and effect as though the date set forth in such notice were the date originally set as the expiration date of this Agreement and the Parties shall make an appropriate adjustment as of such termination date with respect to payments due to the other under this Agreement. If LESSEE does not terminate this Agreement in accordance with the foregoing, this Agreement shall remain in full force and effect as to the portion of the Premises remaining, except that the rent shall be reduced in the same proportion as the rentable area of the Premises taken bears to the total rentable area of the Premises.

32. SUBMISSION OF AGREEMENT/PARTIAL INVALIDITY/AUTHORITY. The submission of this Agreement for examination does not constitute an offer to lease the Premises and this Agreement becomes effective only upon the full execution of this Agreement by the Parties. If any provision herein is invalid, it shall be considered deleted from this Agreement and shall not invalidate the remaining provisions of this Agreement. Each of the Parties hereto warrants to the other that the person or persons executing this Agreement on behalf of such Party has the full right, power and authority to enter into and execute this Agreement on such Party's behalf and that no consent from any other person or entity is necessary as a condition precedent to the legal effect of this Agreement.

33. APPLICABLE LAWS. During the Term, LESSOR shall maintain the Property in compliance with all applicable laws, rules, regulations, ordinances, directives, covenants, easements, zoning and land use regulations, and restrictions of record, permits, building codes, and the requirements of any applicable fire insurance underwriter or rating bureau, now in effect or which may hereafter come into effect (including, without limitation, the Americans with Disabilities Act and laws regulating hazardous substances) (collectively "Laws"). LESSEE shall, in respect to the condition of the Premises and at LESSEE's sole cost and expense, comply with (a) all Laws relating solely to LESSEE's specific and unique nature of use of the Premises (other than general office use); and (b) all building codes requiring modifications to the Premises due to the improvements being made by LESSEE in the Premises.

34. SURVIVAL. The provisions of the Agreement relating to indemnification from one Party to the other Party shall survive any termination or expiration of this Agreement. Additionally, any provisions of this Agreement which require performance subsequent to the termination or expiration of this Agreement shall also survive such termination or expiration.

35. CAPTIONS. The captions contained in this Agreement are inserted for convenience only and are not intended to be part of the Agreement. They shall not affect or be utilized in the construction or interpretation of the Agreement.

36. GOVERNMENTAL RIGHT AND POWERS. Nothing in this Agreement shall be construed or interpreted as limiting, relinquishing, or waiving any rights of ownership enjoyed by LESSOR in the Property or waiving or limiting LESSOR's control over the management, operations or maintenance of the Property except as specifically provided in this Agreement, or impairing exercising or defining governmental rights and the police powers of LESSOR.

37. FORCE MAJEURE. Neither Party shall be liable in damages or have the right to terminate this Agreement for any delay or default in performing hereunder is such delay or default is caused by conditions beyond its control including, but not limited to Acts of God, governmental restrictions (including the denial or cancellation of any export or other necessary license), wars, insurrections and/or any other cause beyond the reasonable control of the Party whose performance is affected.

38. PUBLIC DOCUMENT. LESSOR is a municipal corporation under the law of the State of New Mexico. LESSOR and LESSEE acknowledge that this Agreement is subject to the New Mexico Inspection of Public Records Act, 14-2-1 et seq. NMSA, and is a “public record” within the meaning of the Act.

39. ENTIRE AGREEMENT. This Agreement and the exhibits and attachments referred to herein constitute the full and final Agreement of the Parties on all subjects contained herein. All prior negotiation and agreements are merged into this Agreement. No subsequent agreement may modify this Agreement unless it is in writing and signed by the Parties or their authorized agents.

[signatures appear on the following page]

IN WITNESS WHEREOF, the Parties hereto have set their hands and affixed their respective seals the day and year first above written.

LESSOR:

City of Alamogordo, a municipal
corporation

By: _____

Name: _____

Title: _____

Date: _____

ATTEST

Nancy E Jacobs, City Clerk

APPROVED AS TO FORM:

Stephen P. Thies, City Attorney

LESSEE:

**New Mexico RSA 6-I Partnership, d/b/a
Verizon Wireless**

**By: Verizon Wireless (VAW) LLC
Its: General Partner**

By: _____

Name: Aparna Khurjekar

Title: Vice President-Field Network

Date: _____

Exhibit "A"

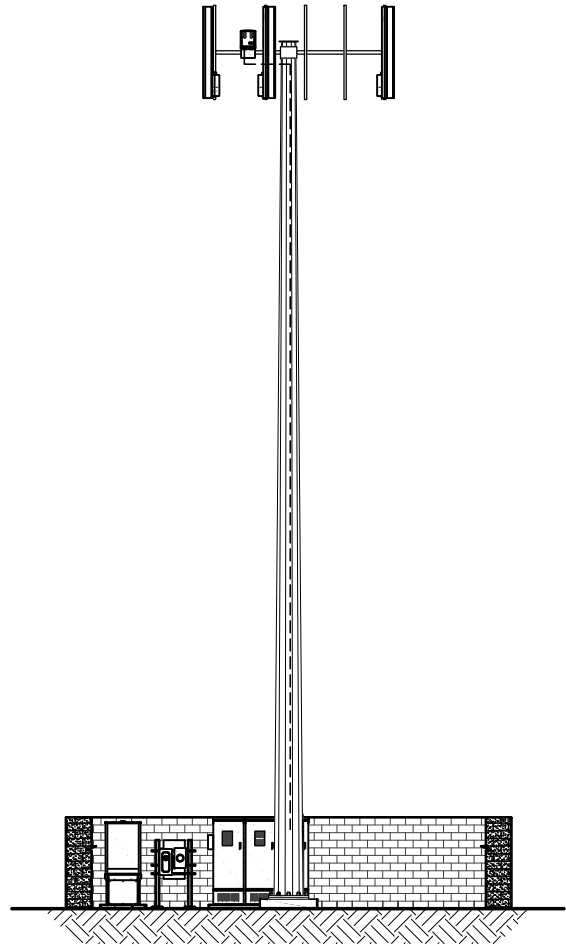
(Legal Description of the Property)

SITUATE WITHIN THE WEST 1/2 OF THE SOUTHWEST 1/4 IF SECTUIB 1M TIWBSGUO
17 SOUTH, RANGE 9 EAST, N.M.P.N., CITY OF ALAMOGORDO, OTERO COUNTY, NEW
MEXICO.

Parcel 01-09267

Exhibit “B”
(Depiction of the Property and/or Premises)

See attached.

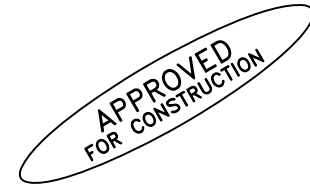


verizonwireless

NM6 NOTAH-BAGAY
PUBLIC RECORD PARCEL NO. 01-09267

2101 S WALKER AVE,
ALAMOGORDO, NEW MEXICO 88310
OTERO COUNTY

NEW 75'-0" MONOPOLE
(OVERALL HEIGHT: 79'-0" A.G.L.)
RAWLAND COMMUNICATION SITE



PROJECT DESCRIPTION:

- THIS PROJECT CONSISTS OF THE FOLLOWING:
- INSTALLATION**
- ONE (1) 75'-0" MONOPOLE (DESIGNED BY OTHERS)
 - ONE (1) NEW OUTDOOR GENERATOR
 - THREE (3) NEW SINGLE-BAY OUTDOOR EQUIPMENT CABINETS
 - SIX (6) NEW PANEL ANTENNAS
 - SIX (6) NEW RRH UNITS
 - TWO (2) NEW MAIN OVP UNITS
 - TWO (2) NEW HYBRIFLEX CABLES

DESIGNED FOR:

verizonwireless

4821 EUBANK NE
ALBUQUERQUE, NEW MEXICO 87111

THESE DRAWINGS AND SURVEYS ARE COPYRIGHT PROTECTED AND THE SOLE PROPERTY OF TOWERCOM TECHNOLOGIES, LLC AND PRODUCED FOR THE USE OF OUR CLIENT. ANY REPRODUCTION OR USE OF THE INFORMATION CONTAINED WITHIN SAID DOCUMENTS IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF TOWERCOM TECHNOLOGIES, LLC.



AZ - CA - CO - ID - NM - NV - TX - UT

REV	DESCRIPTION	DATE	BY	CHK
0	APPROVED FOR CONSTRUCTION	09/21/15	EP	JVC

SHEET INDEX:

SHEET	TITLE	REV.
T1	TITLE SHEET	0
SP1	SPECIFICATION SHEET	0
PS1	PHOTO SHEET	0
SU1	SITE SURVEY	0
SU2	SITE SURVEY	0
SU3	SITE SURVEY	0
C1	SITE PLAN	0
C2	ENLARGED SITE PLAN	0
C3	ELEVATIONS	0
C4	SECTIONS & DETAILS	0
C5	SECTIONS & DETAILS	0
RF1	ANTENNA INFORMATION	0
RF2	ANTENNA CUT SHEETS	0
UC1	UTILITY COORDINATION SITE PLAN	0
E1	ELECTRICAL AND GROUNDING GENERAL NOTES	0
E2	SINGLE LINE DIAGRAM	0
E3	ELECTRICAL SITE PLAN	0
G1	GROUNDING SITE PLAN	0
G2	GROUNDING DETAILS	0
G3	GROUNDING DETAILS	0

PROJECT INDEX:

APPLICANT:
VERIZON WIRELESS
4821 EUBANK NE
ALBUQUERQUE, NM 87111

CONTACT: JEFF DEWALT
PHONE: 505-250-0004

ENGINEERS/DESIGNERS:
TOWERCOM TECHNOLOGIES LLC
4520 MONTGOMERY BLVD. NE, SUITE 5
ALBUQUERQUE, NM 87109

CONTACT: GENEVA VAN MATRE
PHONE: 915-881-1229 EXT. 142

SURVEYOR:
TOWERCOM TECHNOLOGIES
4520 MONTGOMERY BLVD. NE, SUITE 5
ALBUQUERQUE, NM 87109

CONTACT: L. DEAN VAN MATRE, RPLS
PHONE: 915-474-2803

ZONING/SITE AQ:
BLACK & VEATCH CORP
5885 MEADOWS ROAD, SUITE 700,
LAKE OSWEGO, OR 97035

CONTACT: BRAIN C. GULLEN
PHONE: 1-913-458-6787
MOBILE: 1-503-250-3373
FAX: 1-503-443-4499
EMAIL: GullenB@bv.com

ABBREVIATED LEGAL DESCRIPTION:

SITUATE WITHIN THE WEST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 1, TOWNSHIP 17 SOUTH, RANGE 9 EAST, N.M.P.M., CITY OF ALAMOGORDO, OTERO COUNTY, NEW MEXICO.

GENERAL PROJECT NOTES:

1. PRIOR TO SUBMITTING A BID, THE CONTRACTOR SHALL FAMILIARIZE HIMSELF/HERSELF WITH THE SCOPE OF WORK AND ALL CONDITIONS AFFECTING THE NEW PROJECT.
2. CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND DIMENSIONS OF THE JOB SITE AND CONFIRM THAT WORK AS INDICATED ON THESE CONSTRUCTION DOCUMENTS CAN BE ACCOMPLISHED AS SHOWN PRIOR TO COMMENCEMENT OF ANY WORK.
3. ALL FIELD MODIFICATIONS BEFORE, DURING, OR AFTER CONSTRUCTION SHALL BE APPROVED IN WRITING BY A VERIZON WIRELESS REPRESENTATIVE.
4. INSTALL ALL EQUIPMENT AND MATERIALS PER THE MANUFACTURER'S RECOMMENDATIONS, U.N.O.
5. NOTIFY VERIZON WIRELESS, IN WRITING, OF ANY MAJOR DISCREPANCIES REGARDING THE CONTRACT DOCUMENTS, EXISTING CONDITIONS, AND DESIGN INTENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATIONS FROM A VERIZON WIRELESS REPRESENTATIVE AND ADJUSTING THE BID ACCORDINGLY.
6. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES OF THE WORK UNDER THE CONTRACT.
7. CONTRACTOR SHALL PROTECT ALL EXISTING IMPROVEMENTS AND FINISHES THAT ARE TO REMAIN. CONTRACTOR SHALL REPAIR ANY DAMAGE THAT MAY OCCUR DURING THE CONSTRUCTION TO THE SATISFACTION OF A VERIZON WIRELESS REPRESENTATIVE.
8. THE CONTRACTOR IS RESPONSIBLE FOR RED-LINING THE CONSTRUCTION PLANS TO ILLUSTRATE THE AS BUILT CONDITION OF THE SITE. FOLLOWING THE FINAL INSPECTION BY VERIZON WIRELESS, THE CONTRACTOR SHALL PROVIDE VERIZON WIRELESS WITH ONE COPY OF ALL RED-LINED DRAWINGS.
9. VERIFY ALL FINAL EQUIPMENT WITH A VERIZON WIRELESS REPRESENTATIVE. ALL EQUIPMENT LAYOUT, SPECS, PERFORMANCE INSTALLATION AND THEIR FINAL LOCATION ARE TO BE APPROVED BY VERIZON WIRELESS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING HIS/HER WORK WITH THE WORK AND CLEARANCES REQUIRED BY OTHERS RELATED TO SAID INSTALLATIONS.

PROJECT INFORMATION:

PROPERTY OWNER:	CITY OF ALAMOGORDO 1376 EAST NINTH ST ALAMOGORDO, NM 88310
	CONTACT: STEPHEN THIES PHONE: 575-439-4210
JURISDICTION:	CITY OF ALAMOGORDO
PUBLIC RECORD PARCEL NO:	01-09267

DRIVING DIRECTIONS:

LATITUDE: 32°51'55.065"N
LONGITUDE: 105°58'39.972"W

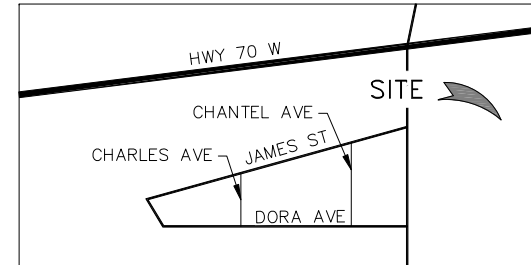
FROM THE VERIZON WIRELESS OFFICES AT 4821 EUBANK NE, ALBUQUERQUE NEW MEXICO: HEAD SOUTH ON EUBANK BLVD NE TO MONTGOMERY BLVD NE, TURN RIGHT HEADING WEST FOR 4.4 MILES TO I-25, TAKE I-25 HEADING SOUTH FOR 89.0 MILES TO EXIT 139/US-380, TAKE US-380 HEADING EAST FOR 65.1 MILES TO US-54, TURN RIGHT HEADING SOUTH FOR 54.4 MILES TO THE CHARLIE LEE MEMORIAL RELIEF ROUTE/ US-82, TURN RIGHT HEADING SOUTHWEST/SOUTH FOR 4.9 MILES TO US-70 WEST, TURN RIGHT HEADING WEST FOR 1.2 MILES TO S WALKER AVE, TURN LEFT HEADING SOUTH FOR 0.2 MILES TO THE TRAVIS C. HOOSER BALLFIELD COMPLEX, THE SITE IS LOCATED EAST OF THE NORTHERN BALLFIELDS.

FCC COMPLIANCE:

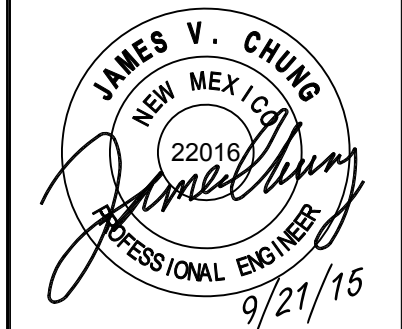
RADIATION FROM THIS FACILITY WILL NOT INTERFERE WITH OPERATION OF OTHER COMMUNICATION DEVICES.

ADA COMPLIANCE:

THIS FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. LANDINGS AND EXITS SHALL COMPLY WITH ALL APPLICABLE BUILDING CODES.



VICINITY MAP



PROJECT NAME:

**NM6 NOTAH-BAGAY
NEW 75'-0" MONOPOLE
(OVERALL HEIGHT: 79'-0" A.G.L.)
RAWLAND COMMUNICATION SITE**

PROJECT ADDRESS:

**2101 S WALKER AVE,
ALAMOGORDO, NEW MEXICO 88310
OTERO COUNTY**

SHEET TITLE:

TITLE SHEET

SAVE DATE:

9/21/2015 9:20 AM

SHEET NUMBER:

T1

GENERAL PROJECT NOTES:

1.	CONTRACTOR IS RESPONSIBLE FOR ERECTING TEMPORARY BARRICADES AND/OR FENCING TO PROTECT THE SAFETY OF THE PUBLIC DURING CONSTRUCTION. THE CONTRACTOR SHALL REMOVE ALL TEMPORARY BARRIERS AND REPAIR ALL DAMAGE TO PROPERTY ON THE SITE CAUSED BY THIS CONSTRUCTION. THE COST OF REPAIR IS THE CONTRACTOR'S RESPONSIBILITY.
2.	ALL WORK SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, STATE, AND FEDERAL REQUIREMENTS.
3.	THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL MEASUREMENTS AT THE SITE PRIOR TO ORDERING ANY MATERIALS OR CONDUCTING ANY WORK.
4.	EXCESS SOIL MATERIAL AND DEBRIS CAUSED BY THIS CONSTRUCTION SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER.
5.	CONTRACTOR SHALL MAKE ADJUSTMENTS TO GRADING ELEVATIONS AS NECESSARY TO ENSURE A SITE FREE OF DRAINAGE PROBLEMS.
6.	CONTRACTOR SHALL COORDINATE A CONSTRUCTION LAYDOWN AREA WITH THE PROPERTY OWNER. CONSTRUCTION LAYDOWN AREA SHALL BE FENCED-IN WITH TEMPORARY (45 DAY) CONSTRUCTION FENCE. THE TEMPORARY FENCE SHALL BE CONSTRUCTED OF 6' HIGH CHAIN LINK FABRIC AND IS TO BE REMOVED AT THE END OF CONSTRUCTION. LAYDOWN AREA IS TO BE RESTORED TO ITS ORIGINAL CONDITION AFTER FENCE REMOVAL.
7.	SURVEY INFORMATION SHOWN WAS CREATED FROM RECORD INFORMATION AND DOES NOT CONSTITUTE A LEGAL BOUNDARY SURVEY.
8.	THESE PLANS DO NOT ADDRESS THE SAFETY AND STABILITY OF THE STRUCTURE DURING ASSEMBLY AND ERECTION, WHICH ARE THE RESPONSIBILITY OF THE ERECTOR, BASED ON THE MEANS AND METHODS CHOSEN BY THE ERECTOR.
9.	NEW EQUIPMENT COMPOUND SHALL BE COVERED W/ 4" CRUSHED ROCK INSTALLED OVER CLIENT-APPROVED WEED BARRIER MATERIAL (IF APPLICABLE).

GENERAL CONTRACTOR NOTES:

1.	THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE PROJECT SCOPE OF WORK DEFINED UNDER THE REQUEST FOR PROPOSAL (RFP) FOR THIS PROJECT AND ALL ASSOCIATED ATTACHMENTS AND DOCUMENTS PROVIDED. THE RFP AND ALL ASSOCIATED DOCUMENTS SHALL DEFINE THE COMPLETE PROJECT SCOPE OF WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL DOCUMENTS AND IS SOLELY RESPONSIBLE FOR ALL WORK. ALL DOCUMENTS INCLUDED WITHIN THE PROJECT REQUEST FOR PROPOSAL ARE REQUIRED FOR THE COMPLETE PROJECT SCOPE OF WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK (EQUIPMENT, MATERIAL, INSTALLATION, TESTING, ETC.) INDICATED IN ALL DOCUMENTS. THE RFP, VERIZON WIRELESS NETWORK STANDARDS AND PROJECT ADDENDUMS AND CLARIFICATIONS ARE COMPLEMENTARY TO EACH OTHER. THE FORMAT OF THE SPECIFICATIONS AND DRAWING NUMBERING PER DISCIPLINE IS NOT INTENDED TO IMPLY SEGREGATION OF SUB CONTRACTOR WORK. CONTRACTOR SHALL ASSIGN ALL SUB CONTRACTOR WORK AND VERIZON WIRELESS WILL NOT ACCEPT ANY CHANGE ORDERS FOR INTERNAL CONTRACTOR WORK ASSIGNMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR DISTRIBUTING ALL RFP DOCUMENTS TO THEIR SUB CONTRACTORS. ALL RFP DOCUMENTS ARE REQUIRED TO INDICATE THE PROJECT SCOPE OF WORK. PARTIAL SUB CONTRACTOR DOCUMENT PACKAGES ARE HIGHLY DISCOURAGED. IN THE EVENT OF A CONFLICT BETWEEN THE DRAWINGS, SPECIFICATIONS, REFERENCED STANDARDS, VERIZON WIRELESS STANDARDS, OR AGREEMENT TERMS AND CONDITIONS THE ARCHITECT/ ENGINEER SHALL BE CONTACTED FOR FORMAL INTERPRETATION OF THE REQUIREMENTS. THE CONTRACTOR SHALL BE DEEMED TO HAVE PROVIDED THE DETAILED AND EXTENSIVE INTERPRETATION. ANY WORK INSTALLED IN CONFLICT WITH THE ARCHITECT/ ENGINEER INTERPRETATIONS SHALL BE CORRECTED BY THE CONTRACTOR AT NO EXPENSE TO VERIZON WIRELESS.
2.	ALL ANTENNAS MUST BE PIM TESTED WITHIN 48 HOURS OF THEM BEING RECEIVED BY THE INSTALLATION CONTRACTOR. THOSE RESULTS MUST BE SENT BACK TO THE VERIZON WIRELESS CONSTRUCTION ENGINEER AND EQUIPMENT ENGINEER WITHIN THE SAME 48 HOURS. IF YOU MISS THE 48HR TIMELINE AND THE ANTENNAS DO NOT PASS UPON INSTALLATION, YOUR COMPANY WILL BE CHARGED FOR THE COST OF THE ANTENNAS FOR REPLACEMENT.
3.	ALL LOADS MUST BE SECURED PROPERLY TO THE VEHICLE OR TRAILER. VERIZON WIRELESS WILL PASS ALONG THE COST OF ANY REPLACEMENTS DUE TO DAMAGE OR LOSS WHETHER IT IS NEW OR USED.
4.	ALL VENDORS ARE REQUIRED TO SHOW UP TO THE DC IN TEMPE, OR DELTA/KING COMMUNICATIONS, OR BROKEN ARROW IN NM WITH ENCLOSED TRANSPORTATION FOR ALL ELECTRONICS.

ANTENNA, MOUNTS & HARDWARE INSTALLATION NOTES:

1.	CONTRACTOR TO INSTALL ANTENNAS, MOUNTS AND TOWER HARDWARE PER MANUFACTURER'S RECOMMENDATIONS (OR AS REQUIRED BY THE OWNER/PROVIDER).
2.	ALL BOLTS SHALL BE TIGHTENED PER AISC REQUIREMENTS (SEE STEEL NOTES).
3.	ANY GALVANIZED SURFACES THAT ARE DAMAGED BY ABRASIONS, CUTS, DRILLING OR FIELD WELDING DURING SHIPPING OR ERECTION SHALL BE TOUCHED-UP WITH TWO COATS OF COLD GALVANIZING COMPOUND MEETING THE REQUIREMENTS OF ASTM A780.
4.	ANTENNA MOUNTS SHALL NOT BE USED AS A CLIMBING DEVICE. WORKERS SHALL ALWAYS TIE OFF TO AN APPROVED CLIMBING POINT.
5.	SEE ALSO GENERAL ANTENNA NOTES ON SHEET RF1 (IF APPLICABLE).

STRUCTURAL DESIGN CRITERIA:

ALL LOADS DERIVED FROM REQUIREMENTS OF INTERNATIONAL BUILDING CODE 2009, ASCE 7-05, "MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES" & ANSI TIA-222-G "STRUCTURAL STANDARD FOR ANTENNA SUPPORTING STRUCTURES AND ANTENNAS".	
BUILDING STRUCTURES:	
1.	WIND LOADS: IBC 2009 §1609 & ASCE 7-05 §6.4 (SIMPLIFIED METHOD) V _{3s} = 90 MPH OCCUPANCY CAT. = II; EXPOSURE CAT. = C; IMPORTANCE FACTOR = 1.0
2.	SEISMIC LOADS: IBC 2009 §1613 & ASCE 7-05 §12.14 (SIMPLIFIED METHOD) OCCUPANCY CAT. = II; SITE CLASS = D $V = \frac{F(S_{ds}W)}{R}$ F = 1.0 (SINGLE-STORY), 1.1 (TWO STORY), 1.2 (THREE STORY) S _{ds} = (2/3) S _{ms} R = 1.5 (ORDINARY PLAIN CONCRETE SHEARWALLS), 6.5 (LIGHT-FRAMED WALLS W/ WOOD STRUCTURAL PANELS), 4.0 (ORDINARY REINFORCED CONCRETE SHEARWALLS)
COMMUNICATIONS STRUCTURES:	
1.	WIND LOADS: IBC 2009 §1609, ASCE 7-05 §6.5.15 & ANSI TIA-222-G V = 90 MPH (3-SEC. GUST) V = 30 MPH (¼ " RADIAL ICE) STRUCTURE CLASS. = II; EXPOSURE CAT. = C; IMPORTANCE FACTOR = 1.0
2.	SEISMIC LOADS*: IBC 2009 §1613, ASCE 7-05 §15.6.6 & ANSI TIA-222-G *MAY BE IGNORED FOR STRUCTURE CLASS I AND/OR EARTHQUAKE SPECTRAL RESPONSE FOR SHORT PERIOD (S _s) ≤ 1.0 STRUCT. CLASS. = II; OCC. CAT. = II; SITE CLASS = D; IMPORTANCE FACTOR = 1.0 $V = \frac{S_{ds}(W)I}{R}$ (EQUIVALENT LATERAL FORCE PROCEDURE (METHOD 1)) $V = \frac{\sum Soz(Wz)I}{R}$ (EQUIVALENT MODAL ANALYSIS PROCEDURE (METHOD 2))

STEEL NOTES:

1.	ALL STEEL SHALL BE GALVANIZED PER ASTM A123 & CONFORM TO THE FOLLOWING MINIMUM SPECS.: HSS SHAPES (TUBE) ASTM A500, GR. B (46 KSI) HSS SHAPES (ROUND) ASTM A500, GR. B (42 KSI) W-SHAPES ASTM A992, (50 KSI) CHANNELS, ANGLES & PLATES ASTM A36
2.	ALL BOLTS SHALL BE GALVANIZED PER ASTM A153 AND CONFORM TO ASTM A325 U.N.O. ALL BOLTED CONNECTIONS SHALL BE EQUIPPED WITH AN APPROVED NUT-LOCKING DEVICE.
3.	ALL WELDING WORK SHALL CONFORM TO THE AWS D1.1 STRUCTURAL WELDING CODE. ALL WELDING SHALL BE PERFORMED BY CERTIFIED WELDERS ONLY. WELDING ELECTRODES SHALL BE E70XX.
4.	ALL DETAILING, FABRICATION AND ERECTION OF STRUCTURAL STEEL SHALL CONFORM TO AISC SPECS AND CODES, LATEST EDITION.
5.	AT HIS OWN DISCRETION, THE CONTRACTOR MAY SUBMIT DETAILED, ENGINEERED, COORDINATED AND CHECKED SHOP DRAWINGS FOR ALL STRUCTURAL STEEL TO THE ENGINEER OF RECORD TO REVIEW FOR COMPLIANCE WITH DESIGN INTENT PRIOR TO THE START OF FABRICATION AND/OR ERECTION. TOWERCOM IS ABSOLVED OF ALL LIABILITY ASSOCIATED WITH THE MISINTERPRETATION OF THE CONSTRUCTION DOCUMENTS IF CONTRACTOR CHOOSES NOT TO SUBMIT SHOP DRAWINGS.
6.	TORCH-CUTTING OF ANY KIND SHALL NOT BE PERMITTED.
7.	ALL BOLTS SHALL BE TIGHTENED TO AISC SNUG TIGHT REQUIREMENTS. THE SNUG TIGHT CONDITION IS DEFINED AS THE TIGHTNESS THAT EXISTS WHEN ALL PLIES IN A JOINT ARE IN FIRM CONTACT. THIS MAY BE ATTAINED BY A FEW IMPACTS OF AN IMPACT WRENCH OR THE FULL EFFORT OF A MAN USING AN ORDINARY SPUD WRENCH.

FOUNDATION NOTES:

1.	THE CONTRACTOR SHALL READ THE GEOTECHNICAL REPORT (IF AVAILABLE) AND SHALL CONSULT THE GEOTECHNICAL ENGINEER AS NECESSARY PRIOR TO CONSTRUCTION.
2.	THE GEOTECHNICAL ENGINEER (OR INSPECTOR) SHALL INSPECT THE EXCAVATION PRIOR TO THE PLACEMENT OF CONCRETE AND SHALL PROVIDE A NOTICE OF INSPECTION FOR THE BUILDING INSPECTOR FOR REVIEW AND RECORDS PURPOSES.
3.	THE CONTRACTOR SHALL DETERMINE THE MEANS AND METHODS NECESSARY TO SUPPORT THE EXCAVATION DURING CONSTRUCTION.
4.	REBAR AT BOTTOM OF FOUNDATIONS SHALL BE BONDED TO SITE GROUNDING SYSTEM (WHEN APPLICABLE). SEE ADDITIONAL DETAILS ON GROUNDING SITE PLAN.
5.	ALL FOOTINGS TO BE PLACED ON FIRM, UNDISTURBED, INORGANIC MATERIAL. PROOF ROLL SUB-GRADE PRIOR TO PLACING CONCRETE WHERE THE MATERIAL HAS BEEN DISTURBED BY EQUIPMENT. UNACCEPTABLE/DISTURBED MATERIAL SHALL BE OVER-EXCAVATED AND REPLACED WITH "LEAN CONCRETE FILL".
6.	STRUCTURAL BACKFILL SHALL BE GRANULAR FREE-DRAINING MATERIAL FREE OF DEBRIS, ORGANICS, REFUSE AND OTHERWISE DELETERIOUS MATERIALS. MATERIAL SHALL BE PLACED IN LIFTS NO GREATER THAN 6" IN DEPTH AND COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED PER ASTM D1557 (MODIFIED PROCTOR).

CONCRETE NOTES:

1.	ALL CONCRETE SHALL BE IN ACCORDANCE WITH CHAPTER 19 OF THE IBC & ACI 318, "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE", LATEST EDITION & HAVE THE FOLLOWING PROPERTIES: A. MINIMUM 28-DAY COMPRESSIVE STRENGTH (f'c) OF 4,000 PSI. B. CEMENT SHALL BE "LOW-ALKALI" TYPE IIA (MODERATE SULFATE RESISTANCE, AIR ENTRAINING) CONFORMING TO ASTM C150. C. MAXIMUM WATER/CEMENT RATIO OF 0.45 AND AIR-ENTRAINED 4% TO 7%. D. CONCRETE PROPORTIONING SHALL BE DESIGNED BY AN APPROVED LABORATORY. TOLERANCES IN ACCORDANCE WITH ACI 117. COPIES OF CONCRETE MIX SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW PRIOR TO PLACEMENT. E. ALL AGGREGATE USED IN CONCRETE SHALL CONFORM TO ASTM C33. USE ONLY AGGREGATES KNOWN NOT TO CAUSE EXCESSIVE SHRINKAGE. MAXIMUM AGGREGATE SIZE TO BE 1½". F. MAXIMUM SLUMP: 3" (FOUNDATION, FOOTING, SLAB), 4" (WALL, COLUMN, BEAM)
2.	FORMWORK FOR CONCRETE SHALL CONFORM TO ACI 347. TOLERANCES FOR FINISHED CONCRETE SURFACES SHALL MEET CLASS-C REQUIREMENTS. IN NO CASE SHALL FINISHED CONCRETE SURFACES EXCEED THE FOLLOWING VALUES AS MEASURED FROM NEAT PLAN LINES AND FINISHED GRADES: ± ¼" VERTICAL, ± 1" HORIZONTAL.
3.	CHAMFER ALL EXPOSED CORNERS AND FILLET ENTRANT ANGLES ¾" U.N.O.
4.	CONCRETE FINISHING: A. FLOORS: CONCRETE FLOOR SLABS SHALL BE FINISHED IN ACCORDANCE WITH ACI 302.1 CHAPTER 8. PROVIDE CLASS 4 FINISH U.N.O. PROVIDE NON-SLIP FINISH FOR EXTERIOR SURFACES. B. OTHER SURFACES: CONCRETE SURFACES SHALL BE FINISHED IN ACCORDANCE WITH ACI 301 SECTIONS 5.3, 6.3, AND 7.3. PROVIDE ROUGH FINISH FOR ALL SURFACES NOT EXPOSED TO VIEW AND SMOOTH FINISH FOR ALL OTHERS, U.N.O.
5.	A MINIMUM OF ONE (1) SET OF CONCRETE CYLINDERS SHALL BE TAKEN (IF REQUIRED BY SPECIAL INSPECTIONS ON SHEET IN1). EACH SET SHALL CONSIST OF THREE (3) CYLINDERS. ONE (1) SHALL BE TESTED AT 7 DAYS, TWO (2) SHALL BE TESTED AT 28 DAYS. ALL CYLINDERS SHALL BE TAKEN, PREPARED AND TESTED BY A TESTING LAB IN ACCORDANCE WITH ASTM C172, C31 AND C39.

REINFORCING STEEL NOTES:

1.	ALL REINFORCING STEEL SHALL CONFORM TO ASTM A615. VERTICAL/HORIZONTAL BARS SHALL BE GRADE 60; TIES OR STIRRUPS SHALL BE A MINIMUM OF GRADE 40. ALL REINFORCING STEEL SHALL HAVE 3" (± ¾") OF CONCRETE COVER, U.N.O.
2.	ALL BAR BENDS, HOOKS, SPLICES AND OTHER REINFORCING STEEL SHALL CONFORM TO THE REQUIREMENTS OF ACI 315.
3.	ALL BARS SHALL BE SPLICED WITH A MINIMUM LAP OF 48 BAR DIAMETERS. LAP SPLICES OF DEFORMED BARS IN TENSION ZONES SHALL BE CLASS-B SPLICES. WELDING OF BARS IS NOT PERMITTED.
4.	AT ALL CORNERS AND WALL INTERSECTIONS, PROVIDE BENT HORIZONTAL BARS TO MATCH THE HORIZONTAL REINFORCING STEEL.
5.	PROVIDE VERTICAL DOWELS IN FOOTINGS AND AT CONSTRUCTION JOINTS TO MATCH VERTICAL REINFORCING BAR SIZE AND SPACING.
6.	ACI-APPROVED PLASTIC-COATED BAR CHAIRS OR PRECAST CONCRETE BLOCKS SHALL BE PROVIDED FOR SUPPORT OF ALL GRADE-CAST REINFORCING STEEL & SHALL BE SUFFICIENT IN NUMBER TO PREVENT SAGGING. METAL CLIPS OR SUPPORTS SHALL NOT BE PLACED IN CONTACT WITH THE FORMS OR THE SUB-GRADE.
7.	DOWELS AND ANCHOR BOLTS SHALL BE WIRED OR OTHERWISE HELD IN CORRECT POSITION PRIOR TO PLACING CONCRETE. IN NO CASE SHALL DOWELS OR ANCHOR BOLTS BE "STABBED" INTO FRESHLY-POURED CONCRETE.

CONCRETE MASONRY UNIT NOTES:

1.	CONCRETE MASONRY UNITS (CMU) PER ASTM C90 A. MINIMUM COMPRESSIVE STRENGTH (f'm) OF 1900 PSI. B. NOMINAL (ACTUAL) FACE DIMENSIONS, 8"Wx8"Hx16"L (7½"x7½"x15½"). PROVIDE SPECIAL SHAPES AS REQUIRED AT CORNERS, JAMBS, & BOND BEAMS. C. TYPE I, MOISTURE CONTROLLED, NORMAL-WEIGHT UNITS.
2.	MORTAR PER ASTM C270 A. EXTERIOR WALLS ABOVE GRADE: TYPE S, ¼ TO ½ PART HYDRATED LIME TO 1 PART PORTLAND CEMENT BY VOLUME. B. EXTERIOR WALLS AT OR BELOW GRADE: TYPE M, ¼ PART HYDRATED LIME TO 1 PART PORTLAND CEMENT BY VOLUME. C. PORTLAND CEMENT: ASTM C150, TYPE I OR II. D. HYDRATED LIME: ASTM C207, TYPE S.
3.	GROUT PER ASTM C476 ALL REINFORCEMENT SHALL BE PLACED PRIOR TO GROUTING. VERTICAL BARS SHALL BE HELD IN POSITION AT THEIR TOP AND BOTTOM AND AT INTERVALS OF NOT MORE THAN 200 BAR DIAMETERS. NO "STABBING-IN" OF REINFORCEMENT PERMITTED.
4.	GROUT SOLID ALL BOND BEAMS. RUN REINFORCING AROUND ALL CORNERS WITH APPROPRIATE SPLICES.
5.	LAYING CMU WALLS: A. BOND PATTERN: ONE-HALF RUNNING BOND. B. LAY WALLS WITH ¾" CONCAVE-TOOLED JOINTS.
6.	VERTICAL REINFORCEMENT: (1) #5 @ 32" O.C. FULL HEIGHT AT ALL WALLS. (2) #5 @ EACH END OF WALL & EACH SIDE OF OPENING,
7.	HORIZONTAL REINFORCEMENT: (1) #5 @ 48" O.C. MINIMUM. (1) #5 @ TOP AND BOTTOM OF EACH WALL & OPENING. PROVIDE (1) #5 HORIZONTAL CORNER/INTERSECTION BAR AT ALL BOND BEAM LEVELS W/ 48 BAR DIAMETER DEVELOPMENT ON EACH END.

DESIGNED FOR:

verizonwireless

4821 EUBANK NE
ALBUQUERQUE, NEW MEXICO 87111

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	AZ - CA - CO - ID - NM - NV - TX - UT		CHK					
	DATE	BY	JVC					
	09/21/15	EP						
	DESCRIPTION	APPROVED FOR CONSTRUCTION	REV	0				



PROJECT NAME:

NM6 NOTAH-BAGAY
NEW 75'-0" MONOPOLE
(OVERALL HEIGHT: 79'-0" A.G.L.)
RAWLAND COMMUNICATION SITE

PROJECT ADDRESS:

2101 S WALKER AVE,
ALAMOGORDO, NEW MEXICO 88310
OTERO COUNTY

SHEET TITLE:

SPECIFICATION SHEET

SAVE DATE:

9/21/2015 9:20 AM

SHEET NUMBER:

SP1

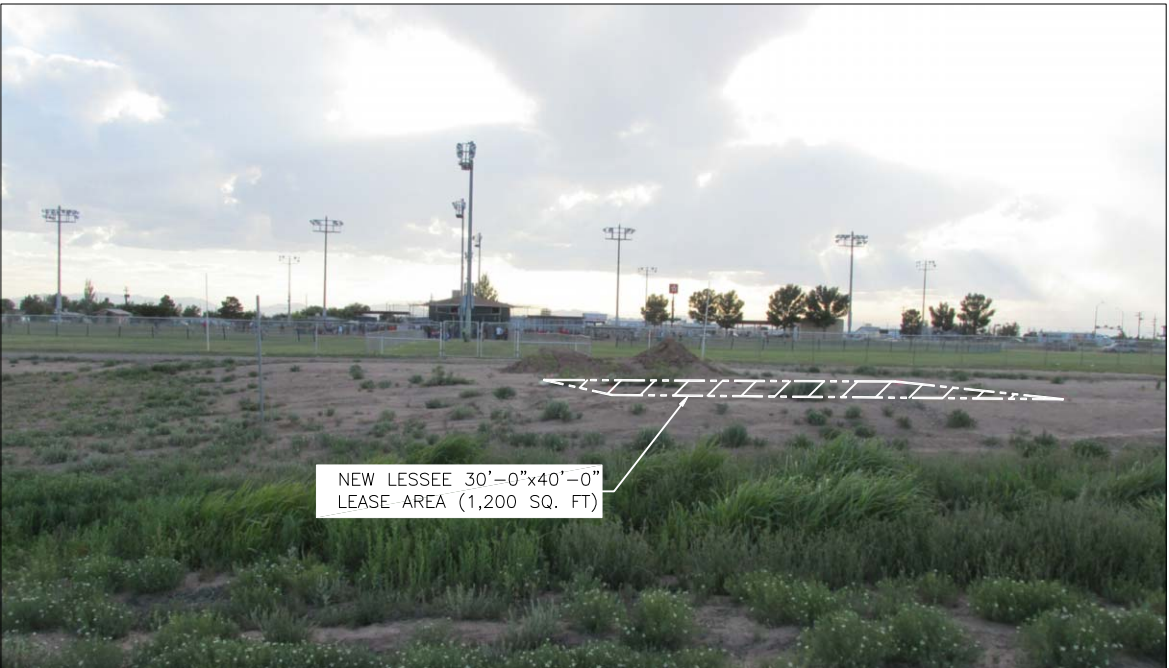
**APPROVED
FOR CONSTRUCTION**



VIEW OF NEW LEASE AREA
(LOOKING SOUTHWEST)



VIEW OF NEW LEASE AREA
(LOOKING NORTHEAST)



VIEW OF NEW LEASE AREA
(LOOKING NORTHWEST)

LEGEND OF SYMBOLS:

REFERENCE LETTER
OR NUMBER

SECTION OR DETAIL

SCALE:

SHEET WHERE DRAWN

SHEET WHERE TAKEN

SECTION LETTER

SHEET WHERE DRAWN

SHEET WHERE TAKEN

DETAIL NUMBER

SHEET WHERE DRAWN

SHEET WHERE TAKEN

⌀ CENTERLINE

d PENNY

EQUIPMENT OR
FIXTURE NUMBER

KEYED NOTE

T.C. 1631.33
F.L. 1631.00 SPOT ELEVATION

TOP OF WALL
1639.00 CONTROL OR DATUM POINT

PROPERTY LINE

EXISTING CONTOUR

NEW CONTOUR

ROUND/DIAMETER

APPROXIMATELY

APPROVED
FOR CONSTRUCTION

DESIGNED FOR:

verizonwireless

4821 EUBANK NE
ALBUQUERQUE, NEW MEXICO 87111

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DESIGNED BY:

REV

0

DESCRIPTION

APPROVED FOR CONSTRUCTION

DATE

09/21/15

CHK

BY

JVC

EP

TowerCom
TECHNOLOGIES

AZ - CA - CO - ID - NM - NV - TX - UT

JAMES V. CHUNG

NEW MEXICO

22016

PROFESSIONAL ENGINEER

9/21/15

PROJECT NAME:

NM6 NOTAH-BAGAY
NEW 75'-0" MONOPOLE
(OVERALL HEIGHT: 79'-0" A.G.L.)
RAWLAND COMMUNICATION SITE

PROJECT ADDRESS:

2101 S WALKER AVE,
ALAMOGORDO, NEW MEXICO 88310
OTERO COUNTY

SHEET TITLE:

PHOTO SHEET

SAVE DATE:

9/21/2015 9:20 AM

SHEET NUMBER:

PS1

LEASE AREA SURVEY

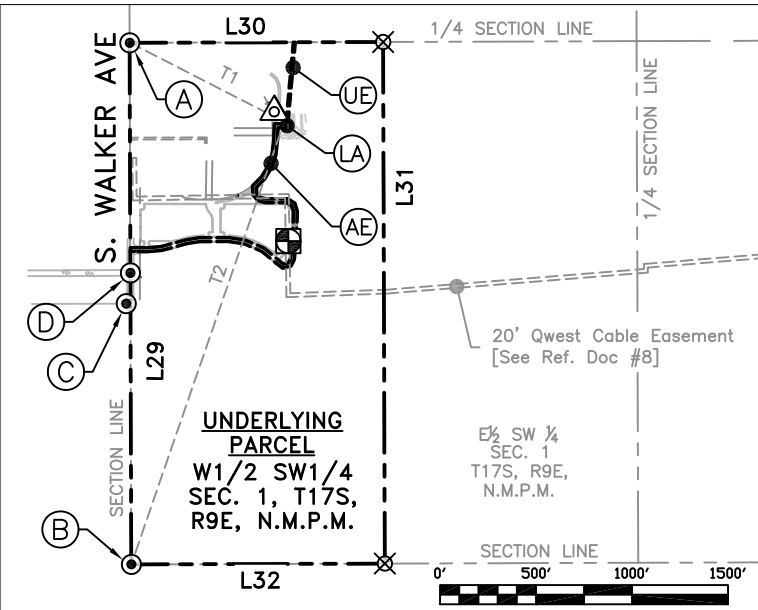
GENERAL LEGAL DESCRIPTION OF LESSOR'S PARCEL
SITUATE WITHIN THE WEST 1/2 OF THE
SOUTHWEST 1/4 OF SECTION 1, TOWNSHIP
17 SOUTH, RANGE 9 EAST, N.M.P.M., CITY OF
ALAMOGORDO, OTERO COUNTY, NEW MEXICO.

NO EASEMENT CERTIFICATION:

THIS IS TO CERTIFY THAT THE EASEMENTS LISTED IN THE "REPORT OF TITLE" FILE NO. 50831-NM1503-5030, REFERENCE NO. 20141075604 ISSUED MARCH 24, 2015 BY U.S. TITLE SOLUTIONS HAVE BEEN REVIEWED AND DO NOT CROSS THROUGH THE VERIZON WIRELESS NM6 NOTAH-BAGAY LEASE AREA.

TITLE REFERENCE:

This Survey was done with sufficient research and field gathered data to verify the Underlying Parcel of the subject property, however, this Surveyor has relied upon the title provider referenced herein for documents of record. This Surveyor makes no guarantee, either expressed or implied as to the quality of the title report/abstract and reference documents provided and the documents provided affecting the Lease and immediate area have been plotted.



UNDERLYING PARCEL
W1/2 SW1/4 SEC. 1,
T17S, R9E, N.M.P.M.



10' Joint Pole Easement
[See Ref. Doc #7]

LINE	BEARING	DISTANCE
L1	N 89°50'30" E	30.00'
L2	S 00°09'30" E	40.00'
L3	S 89°50'30" W	30.00'
L4	N 00°09'30" W	40.00'
L5	S 89°50'30" W	41.97'
L6	S 01°52'19" W	68.14'
L7	S 06°13'43" W	82.93'
L8	S 18°49'55" W	65.31'
L9	S 31°09'36" W	68.66'
L10	S 43°54'51" W	64.36'
L11	S 02°29'16" E	40.50'
L12	S 41°52'02" E	32.93'
L13	S 76°46'19" E	37.28'
L14	N 89°52'40" E	111.47'
L15	S 56°54'11" E	36.66'
L16	S 16°59'47" E	36.85'
L17	S 01°59'49" W	143.91'

L18	S 05°55'20" W	105.41'
L19	S 26°30'27" W	30.76'
L20	S 74°41'09" W	36.22'
L21	N 50°42'51" W	134.78'
L22	N 66°35'19" W	103.55'
L23	N 81°34'24" W	87.20'
L24	S 89°31'59" W	149.09'
L25	S 81°21'36" W	67.43'
L26	S 75°00'13" W	137.91'
L27	S 85°23'31" W	73.78'
L28	S 90°00'00" W	87.33'
L29	N 00°11'08" W	2716.26'
L30	N 89°48'52" E	1320.00'
L31	S 00°11'08" E	2716.26'
L32	S 89°48'52" W	1320.00'
L33	N 05°13'58" E	415.99'

TIE	BEARING	DISTANCE
T1	S 62°49'15" E	900.96'
T2	N 19°03'41" E	2438.34'

Chain-Link Fence

Light Pole

S. WALKER AVE

DORA AVE

Overhead Power Lines

20' Qwest Cable Easement
[See Ref. Doc #8]

Chain-Link Fence

Curb

Gravel Road

Parking Lot

Parking Lot

Dirt Access Road

KEYED NOTES

(A) FOUND ANGLE IRON IN 4" PVC
NAD83(2011) COORDINATES
LAT: 32°51'59.356"N
LONG: 105°58'49.533"W
NAVD88 ELEV: 4,243.7'
NM CENTRAL (3002)
N(Y): 679,061.22'
E(X): 1,723,185.44'

(B) FOUND P-K NAIL IN ASPHALT
(C) FOUND 3/4" REBAR W/
ILLEGIBLE CAP
(D) FOUND P-K NAIL AT
INTERSECTION OF DORA AVE.
AND S WALKER AVE.

(LA) CLIENT 30'X40' LEASE AREA
SEE SHEET SU1
(AE) CLIENT 20' ACCESS/UTILITY
EASEMENT
(UE) CLIENT 10' UTILITY EASEMENT

ACCESS/UTILITY EASEMENT OVERVIEW

SCALE: 1" = 100'

L30

1/4 SECTION LINE

UE

L33

Gravel Road

Light Pole

UNDERLYING PARCEL
W1/2 SW1/4 SEC. 1,
T17S, R9E, N.M.P.M.

UTILITY EASEMENT OVERVIEW

SCALE: 1" = 100'

LEGEND

- △ "BASE" = SET 5/8" REBAR W/ALUMINUM
CAP STAMPED "TOWERCOM CONTROL"
(Refer To Basis of Bearings & Datum Note)
- TEMPORARY BENCH MARK
SET SURVEY MONUMENT
LAT: 32°51'49.116" N
LONG: 105°58'39.917" W
NORTHING: 678,028.54'
EASTING: 1,724,008.19'
ELEV.: 4,244.3' [NAVD88]
- ⊙ FOUND SURVEY MONUMENT (AS NOTED)
- ⊗ CALCULATED CORNER (POINT NOT SET)
- SFNF SEARCHED FOR NOT FOUND
- SET REBAR WITH CAP OR (AS NOTED)
- () BEARING AND DISTANCE IN PARENTHESES
ARE FROM DOCUMENTS OF RECORD
- * SHOWN FOR REFERENCE, NOT
DEFINED BY THIS SURVEY

DESIGNED FOR:

verizonwireless

4821 Eubank NE
Albuquerque, New Mexico 87111

DESIGNED BY:

TowerCom
TECHNOLOGIES

AZ-CA-CO-ID-NM-NV-TX-UT

SHEET TITLE:

UTILITY EASEMENT OVERVIEW
ACCESS/UTILITY EASEMENT OVERVIEW

TCT SITE I.D.: VZW NM6 NOTAH BAGAY

SHEET INFO.: Sheet 2 of 3 SU2

A parcel of land for the purpose of a telecommunications equipment lease area, situate within the corporate limits of the City of Alamogordo, Otero County, New Mexico, said lease parcel comprising a portion of the West one-half of the Southwest one-quarter (W1/2 SW1/4) of Section 1, Township 17 South (T17S), Range 9 East (R9E) of the New Mexico Principal Meridian (NMPM), said lease parcel of land being more particularly described by metes and bounds as follows:

Commencing at a "P-K" Nail found for the Southwest corner of said Section 1, thence, from said Point of Commencement, N 19°03'21" E, a distance of 2438.34 feet to the Northwest corner and Point of Beginning of the lease parcel of land herein described;

Thence, N 89°50'30" E, a distance of 30.00 feet to the Northeast corner;

Thence, S 00°09'30" E, a distance of 40.00 feet to the Southeast corner;

Thence, S 89°50'30" W, a distance of 30.00 feet to the Southwest corner;

Thence, N 00°09'30" W, a distance of 40.00 feet to the Point of Beginning.

The above described lease parcel contains 1200 square feet of land.

LEASE AREA LAND DESCRIPTION

A strip of land for the purpose of an access and utility easement to serve a telecommunications equipment lease area, situate within the corporate limits of the City of Alamogordo, Otero County, New Mexico, said strip of land crossing a portion of the West one-half of the Southwest one-quarter (W1/2 SW1/4) of Section 1, Township 17 South (T17S), Range 9 East (R9E) of the New Mexico Principal Meridian (NMPM), said strip of land being twenty (20.00) feet in width and lying ten (10.00) feet on each side of the following described centerline:

Commencing at a "P-K" Nail found for the Southwest corner of said Section 1, thence, from said Point of Commencement, N 19°03'21" E, a distance of 2438.34 feet to the Northwest corner of said telecommunications equipment lease area; thence, along the West line of said lease area, S 00°09'30" E, a distance of 20.00 feet to the Point of Beginning of this access and utility easement centerline;

Thence, S 89°50'30" W, a distance of 41.97 feet; Thence, S 01°52'19" W, a distance of 68.14 feet;

Thence, S 06°13'43" W, a distance of 82.93 feet; Thence, S 18°49'55" W, a distance of 65.31 feet;

Thence, S 31°09'36" W, a distance of 68.66 feet; Thence, S 43°54'51" W, a distance of 64.36 feet;

Thence, S 02°29'16" E, a distance of 40.50 feet; Thence, S 41°52'02" E, a distance of 32.93 feet;

Thence, S 76°46'19" E, a distance of 37.28 feet; Thence, N 89°52'40" E, a distance of 111.47 feet;

Thence, S 56°54'11" E, a distance of 36.66 feet; Thence, S 16°59'47" E, a distance of 36.85 feet;

Thence, S 01°59'49" W, a distance of 143.91 feet; Thence, S 05°55'20" W, a distance of 105.41 feet;

Thence, S 26°30'27" W, a distance of 30.76 feet; Thence, S 74°41'09" W, a distance of 36.22 feet;

Thence, N 50°42'51" W, a distance of 134.78 feet; Thence, N 66°35'19" W, a distance of 103.55 feet;

Thence, N 81°34'24" W, a distance of 87.20 feet; Thence, S 89°31'59" W, a distance of 149.09 feet;

Thence, S 81°21'36" W, a distance of 67.43 feet; Thence, S 75°00'13" W, a distance of 137.91 feet;

Thence, S 85°23'31" W, a distance of 73.78 feet; Thence, N 90°00'00" W, a distance of 87.33 feet to a point on the West line of said Section 1 and the termination point of this access and utility easement centerline.

ACCESS/UTILITY EASEMENT CENTERLINE DESCRIPTION

A strip of land for the purpose of a utility easement to serve a telecommunications equipment lease area, situate within the corporate limits of the City of Alamogordo, Otero County, New Mexico, said strip of land crossing a portion of the West one-half of the Southwest one-quarter (W1/2 SW1/4) of Section 1, Township 17 South (T17S), Range 9 East (R9E) of the New Mexico Principal Meridian (NMPM), said strip of land being ten (10.00) feet in width and lying five (5.00) feet on each side of the following described centerline:

Commencing at a "P-K" Nail found for the Southwest corner of said Section 1, thence, from said Point of Commencement, N 19°03'21" E, a distance of 2438.34 feet to the Northwest corner of said telecommunications equipment lease area; thence, along the North line of said lease area, N 89°50'30" E, a distance of 15.00 feet to the Point of Beginning of this utility easement centerline;

Thence, N 05°13'58" E, a distance of 415.99 feet to a point on the North line of the West one-half of the Southwest one-quarter (W1/2 SW1/4) of said Section 1 and the termination point of this utility easement centerline.

UTILITY EASEMENT CENTERLINE DESCRIPTION

DESIGNED FOR:



4821 Eubank NE
Albuquerque, New Mexico 87111

DESIGNED BY:


AZ-CA-CO-ID-NM-NV-TX-UT

SHEET TITLE:

LEGAL DESCRIPTION

TCT SITE I.D.:

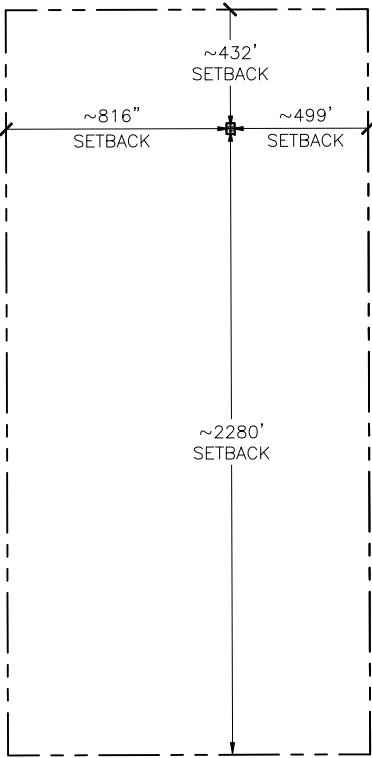
VZW NM6 NOTAH BAGAY

SHEET INFO.:

Sheet 3 of 3

SU3

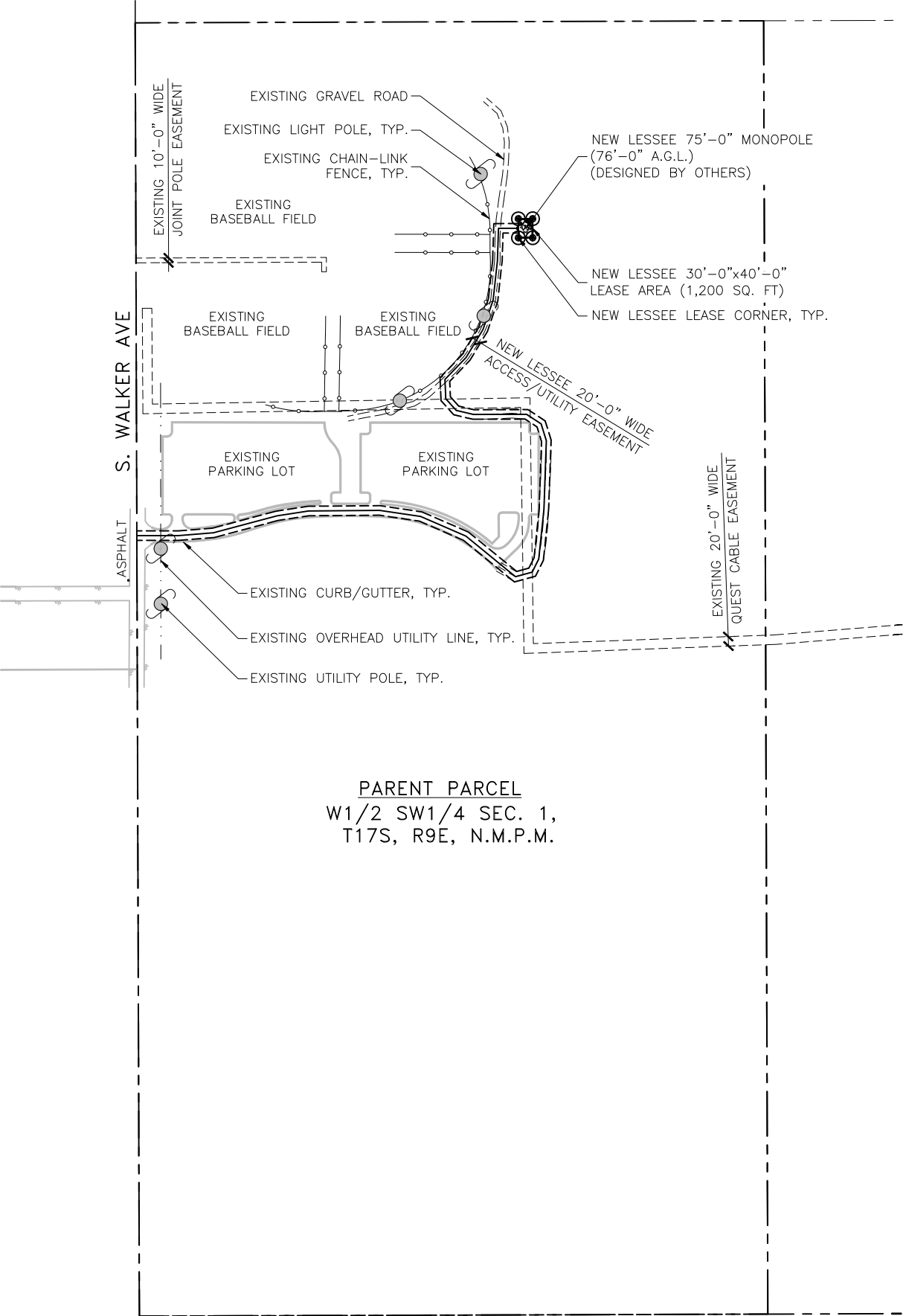
SETBACK TABLE:		
	TOWER BASE TO PARENT PROPERTY LINE	LEASE BOUNDARY TO PARENT PROPERTY LINE
NORTH	~432'	~414'
SOUTH	~2280'	~2262'
EAST	~499'	~486'
WEST	~816'	~804'



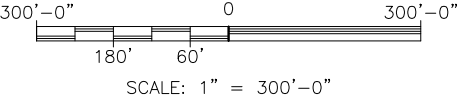
SETBACK SITE PLAN

SCALE: 1" = 700'

NORTH



SITE PLAN



APPROVED FOR CONSTRUCTION

DESIGNED FOR:

4821 EUBANK NE
ALBUQUERQUE, NEW MEXICO 87111

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AZ - CA - CO - ID - NM - NV - TX - UT

REV	DESCRIPTION	DATE	BY	CHK
0	APPROVED FOR CONSTRUCTION	09/21/15	EP	JVC

DESIGNED BY:

PROJECT NAME:

NM6 NOTAH-BAGAY
NEW 75'-0" MONOPOLE
(OVERALL HEIGHT: 79'-0" A.G.L.)
RAWLAND COMMUNICATION SITE

PROJECT ADDRESS:

2101 S WALKER AVE,
ALAMOGORDO, NEW MEXICO 88310
OTERO COUNTY

SHEET TITLE:

SITE PLAN

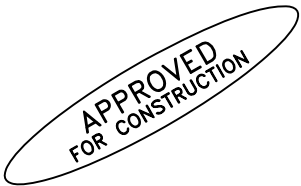
SAVE DATE:

9/21/2015 9:20 AM

SHEET NUMBER:

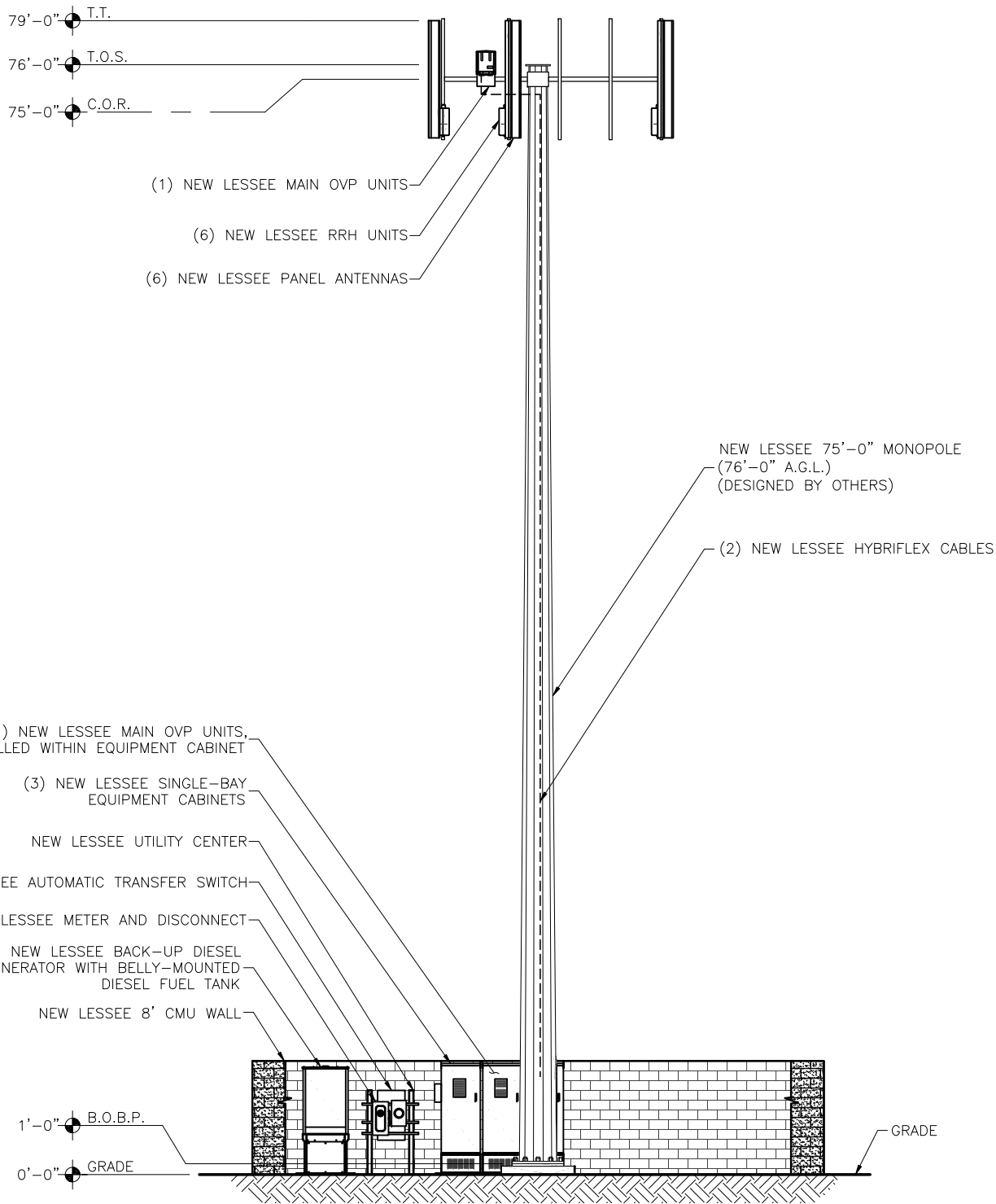
C1

1.	PRIOR TO EXCAVATION, CONTRACTOR SHALL CHECK THE AREA FOR UNDERGROUND FACILITIES.
2.	GRADE ENTIRE COMPOUND UP 6" ABOVE FINISHED GRADE PRIOR TO INSTALLING 4" OF ¾" CRUSHED ROCK. SEE DETAIL 5 ON SHEET C5.
3.	CONTRACTOR TO PLACE MONOPOLE FOUNDATION BASED ON FINISHED COMPOUND GRADE.

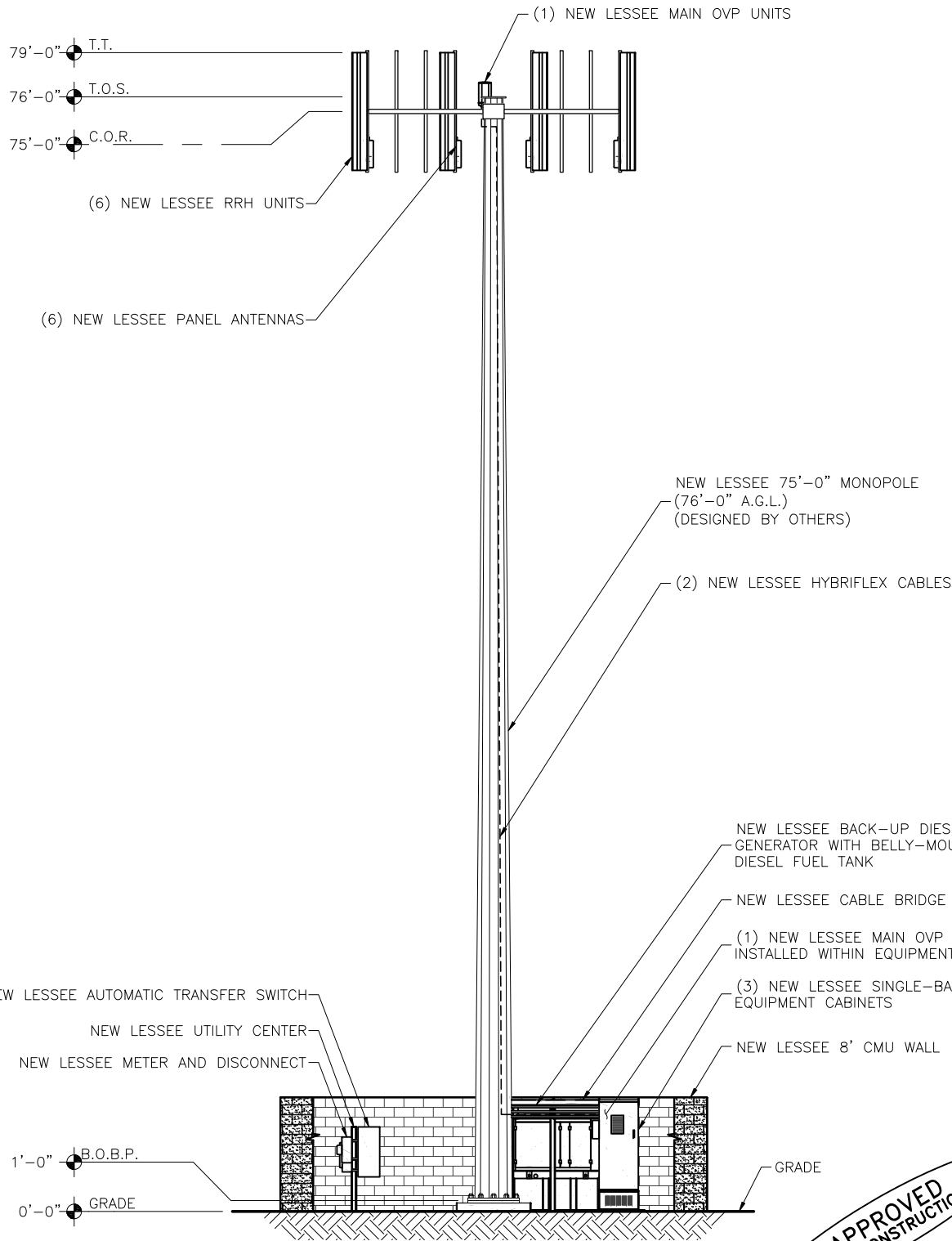


REV	DESCRIPTION	DATE	BY	CHK
0	APPROVED FOR CONSTRUCTION	09/21/15	EP	JVC

C2



NEW WEST ELEVATION
SCALE: 3/32" = 1'-0"



NEW SOUTH ELEVATION
SCALE: 3/32" = 1'-0"

KEY:	
C.O.R. =	CENTER OF RADIATION
A.L. =	ATTACHMENT LEVEL
B.T. =	BOTTOM TIP LEVEL
T.T. =	TOP TIP LEVEL
A.G.L. =	ABOVE GRADE LEVEL
B.O.B.P. =	BOTTOM OF BASE PLATE
T.O.S. =	TOP OF STRUCTURE

DESIGNED FOR:

verizonwireless

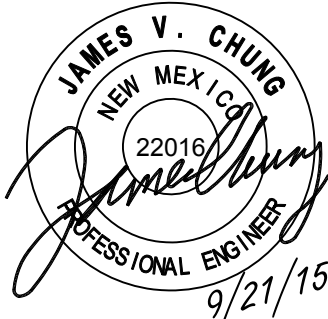
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ALBUQUERQUE, NEW MEXICO 87111

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REV	DESCRIPTION	DATE	BY	CHK
0	APPROVED FOR CONSTRUCTION	09/21/15	EP	JVC



PROJECT NAME:

NM6 NOTAH-BAGAY
NEW 75'-0" MONOPOLE
(OVERALL HEIGHT: 79'-0" A.G.L.)
RAWLAND COMMUNICATION SITE

PROJECT ADDRESS:

2101 S WALKER AVE,
ALAMOGORDO, NEW MEXICO 88310
OTERO COUNTY

SHEET TITLE:

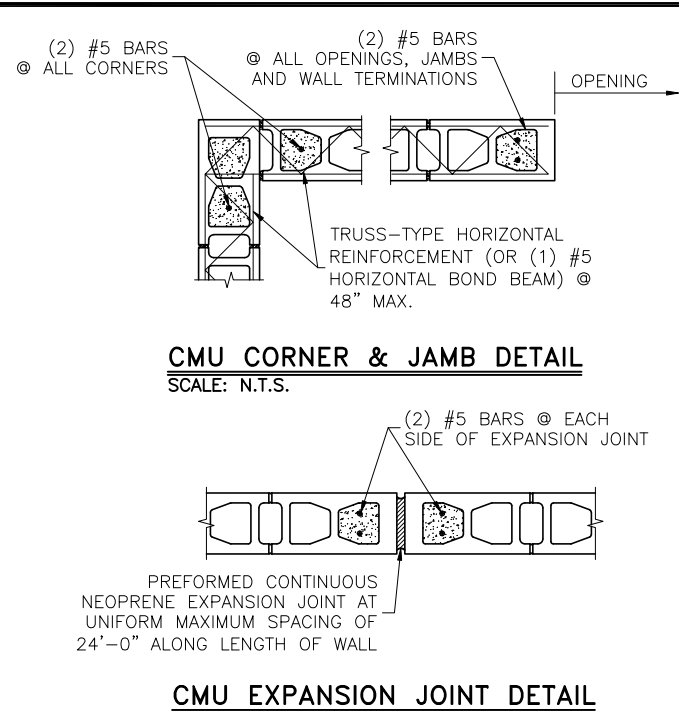
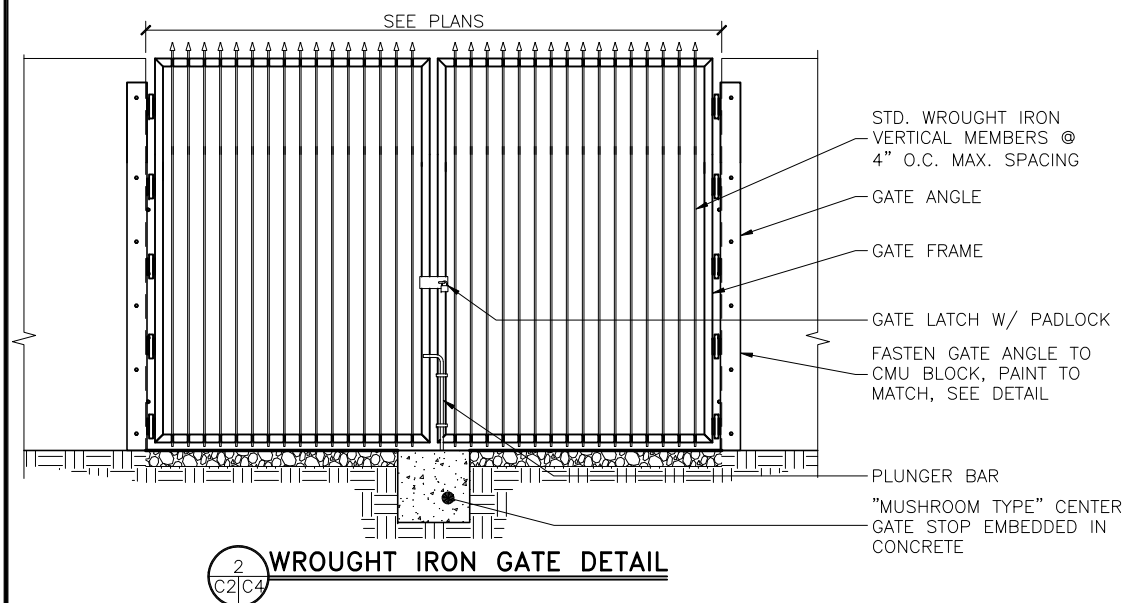
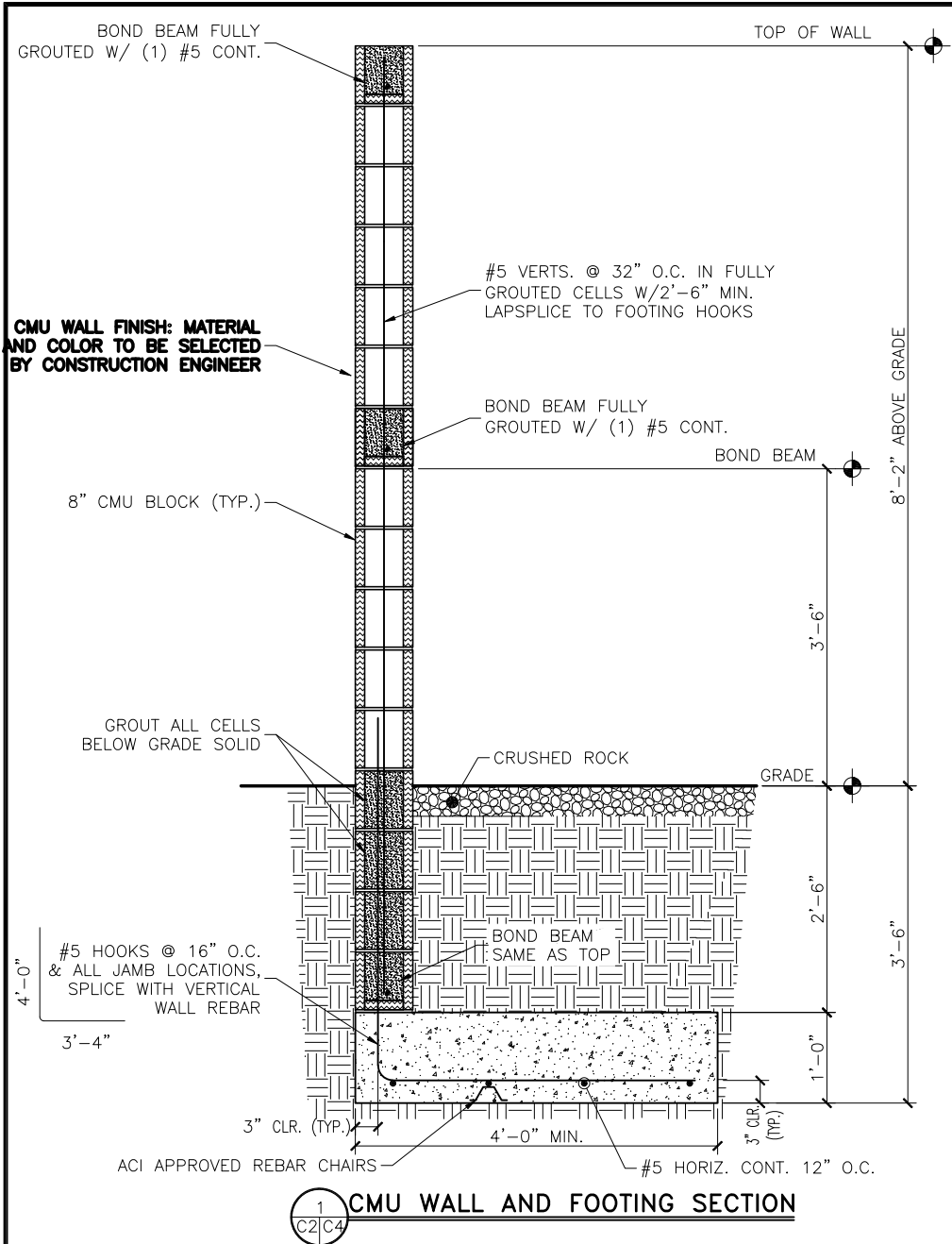
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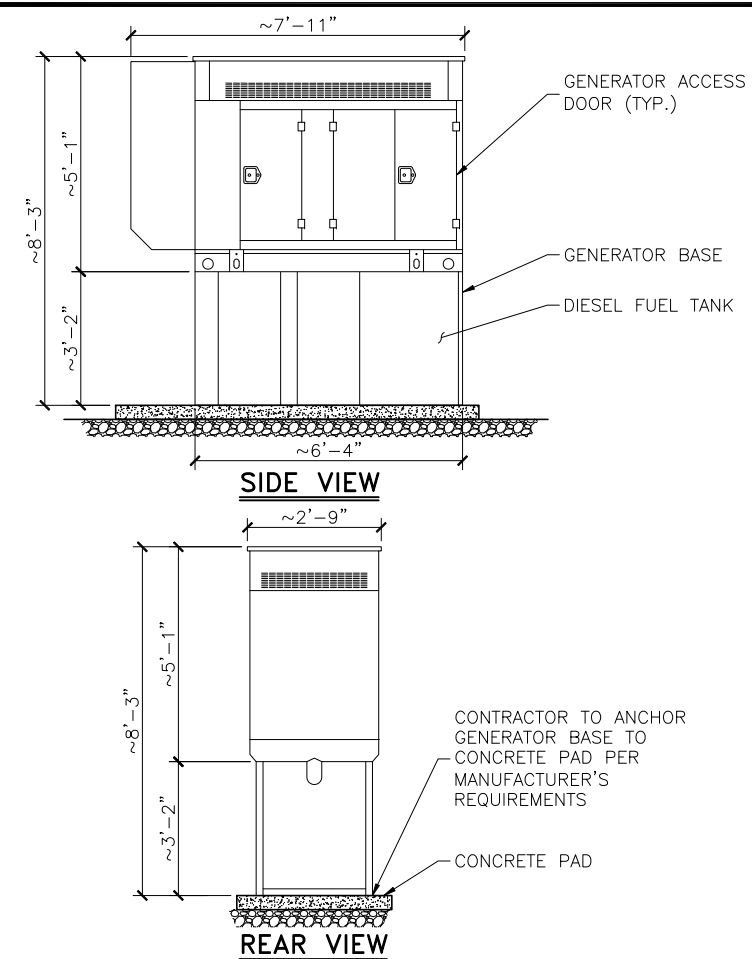
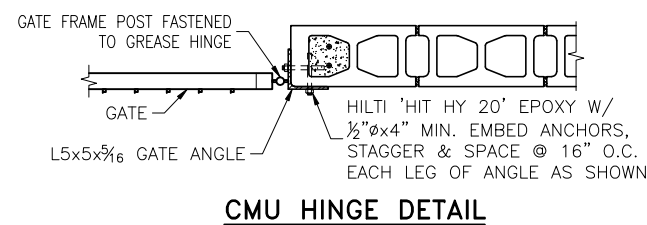
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C3

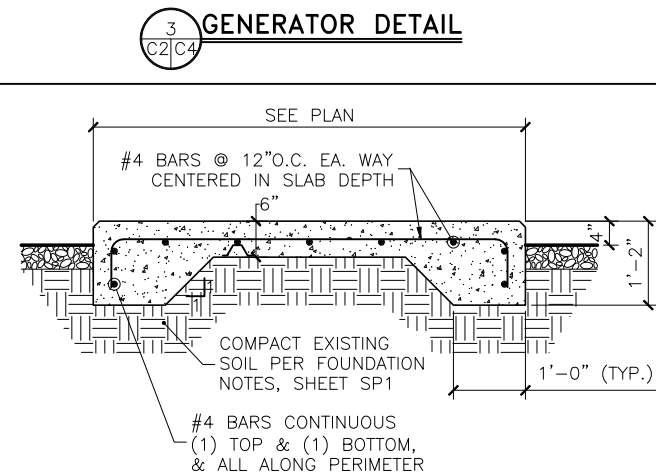


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WROUGHT IRON SPECIFICATIONS:	
GATE POST	4"x4" TUBE STEEL 12 GAUGE FOR GATE WIDTHS UP TO 6 FEET
LINE POST	3"x3" TUBE STEEL 14 GAUGE WITH 8'-0" MAX. SPACING BETWEEN POSTS
CORNER POST	3"x3" TUBE STEEL 14 GAUGE
TOP/BOTTOM RAIL	1.50"x1.38"x1.50" STEEL U CHANNEL 11 GAUGE
GATE FRAME	2"x2" TUBE STEEL 14 GAUGE
GATE LATCH	1.375" O.D. PLUNGER ROD W/ MUSHROOM TYPE CATCH AND LOCK. CONTRACTOR TO INSTALL (2) GATE HOLDBACKS TO HOLD GATE OPEN DURING USE.
VERTICAL MEMBERS	¾"x¾" TUBE STEEL 18 GAUGE MINIMUM



OUTDOOR GENERATOR INFORMATION:	
1.	GENSET TO BE GENERAC MODEL SD060 48KW 60HZ STANDBY GENERATOR.
2.	THE INTENDED USE OF THIS GENERATOR IS FOR BACK-UP POWER PURPOSES ONLY. THE GENERATOR WILL BE PERIODICALLY CYCLED AND EXERCISED TO ENSURE CONTINUED RELIABILITY.
3.	THIS GENERATOR OPERATES AT AN AVERAGE SOUND LEVEL OF 87 DECIBELS AT A DISTANCE OF 23 FEET (7 METERS) WHICH IS COMPARABLE TO THE SOUND LEVEL OF A DIAL TONE OR HANDSAW (85 DECIBELS).
4.	THE DIESEL FUEL TANK FOR THE GENERATOR SHALL BE DUAL WALL SUB-BASE TYPE DESIGNED FOR SECONDARY CONTAINMENT. MUST ALSO BE EQUIPPED WITH EMERGENCY PRESSURE RELIEF AND ATMOSPHERIC VENT CAPS. A FUEL GAUGE SHALL BE PROVIDED AND PLACED IN A FULLY VISIBLE LOCATION TO KEEP FUELING PERSONNEL FROM OVERFILLING THE TANK. FUEL GAUGE SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
5.	ANY AND ALL DIESEL FUEL SPILLS, NO MATTER THE SIZE, MUST BE REPORTED.
6.	PROPOSED DIESEL GENERATOR W/ BELLY MOUNTED 210 GALLON DIESEL FUEL TANK.



DESIGNED FOR:

verizonwireless

4821 EUBANK NE
ALBUQUERQUE, NEW MEXICO 87111

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DESIGNED BY:

TowerCom Technologies

AZ - CA - CO - ID - NM - NV - TX - UT

REV	DATE	DESCRIPTION	CHK	BY
0	09/21/15	EP	JVC	

JAMES V. CHUNG
NEW MEXICO
22016
PROFESSIONAL ENGINEER
9/21/15

PROJECT NAME:

NM6 NOTAH-BAGAY
NEW 75'-0" MONOPOLE
(OVERALL HEIGHT: 79'-0" A.G.L.)
RAWLAND COMMUNICATION SITE

PROJECT ADDRESS:

**2101 S WALKER AVE,
ALAMOGORDO, NEW MEXICO 88310
OTERO COUNTY**

SHEET TITLE:

SECTIONS & DETAILS

SAVE DATE:

9/21/2015 9:20 AM

SHEET NUMBER:

C4

AGGREGATE NOTES:

1.

THE AGGREGATE MATERIAL TO BE USED WILL BE PRODUCED FROM SOUND, TOUGH, DURABLE ROCK AND SHALL BE UNIFORM IN QUALITY AND GRADATION. THE CRUSHED MATERIAL WILL BE REASONABLY FREE FROM SOFT OR DISINTEGRATED PIECES, ORGANIC MATERIALS, AND OTHER OBJECTIONABLE MATTER.
2.

THE AGGREGATE MATERIAL WILL SHOW A LOSS LESS THAN 35% IN THE LOS ANGELES ABRASION TEST.
3.

THE PERCENTAGE OF SOFT PARTICLES, AS DETERMINED BY THE CLAY LUMPS AND FRIABLE PARTICLES [AASHTO T 112], SHALL NOT BE MORE THAN 5%.
4.

THE AGGREGATE MATERIAL USED WILL NOT HAVE A SAND EQUIVALENT LESS THAN 30 IF 5% OR MORE OF THE MATERIAL PASSES THE NUMBER 200 SIEVE.
5.

80% OF THE GRAVEL (BY WEIGHT) OF THE COMBINED COURSE AGGREGATE SHALL HAVE THREE OR MORE ROUGH ANGULAR SURFACES AND PRODUCED BY CRUSHING OF THE ROCK.
6.

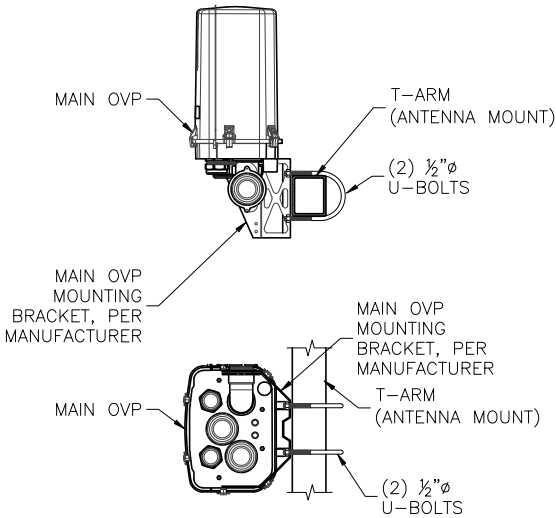
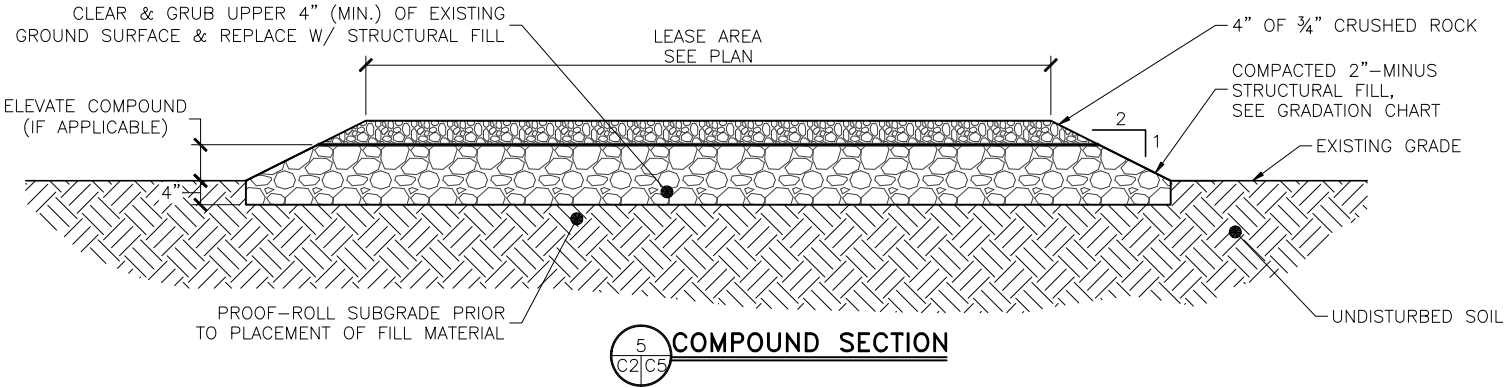
THE PLASTICITY INDEX OF THE FINISHED AGGREGATE PRODUCT SHALL NOT EXCEED 6.

COMPACTION NOTE:

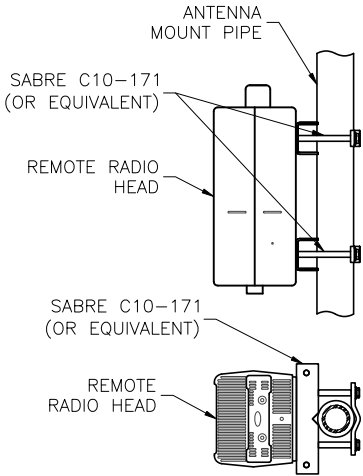
STRUCTURAL FILL SHALL BE GRANULAR FREE-DRAINING MATERIAL FREE OF DEBRIS, ORGANICS, REFUSE AND OTHERWISE DELETERIOUS MATERIALS. MATERIAL SHALL BE PLACED IN LIFTS NO GREATER THAN 12" IN DEPTH AND COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED PER ASTM D1557.

AGGREGATE GRADATION CHART

(% BY WEIGHT PASSING SIEVES)		
SIEVE SIZE	2"-MINUS	¾"-MINUS
2½"	100	—
2"	90–100	—
1"	55–83	100
¾"	—	90–100
No. 4	30–60	40–65
No. 8	—	30–50
No. 30	10–25	—
No. 200	0–8	3–9

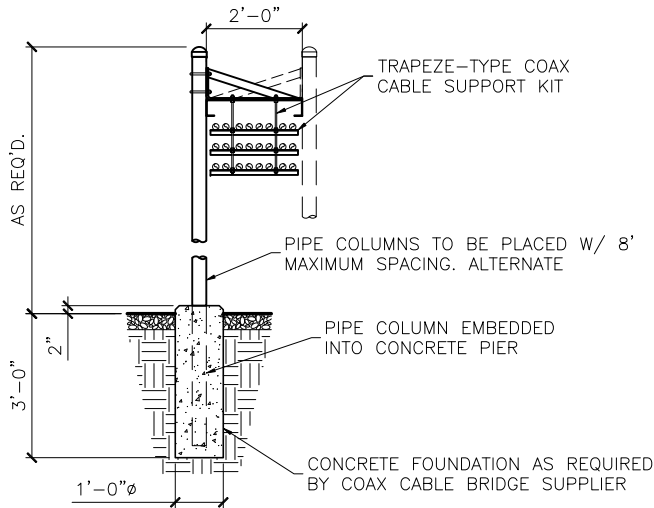


MAIN OVP BOX
STAND-OFF MOUNT
CONNECTION DETAIL



REMOTE RADIO HEAD
CONNECTION DETAIL

SCALE: 1/2" = 1'-0"



CABLE BRIDGE DETAIL

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DESIGNED FOR:

verizonwireless

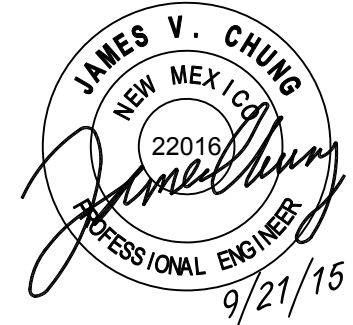
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REV	DESCRIPTION	DATE	BY	CHK
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PROJECT NAME:

NM6 NOTAH-BAGAY
NEW 75'-0" MONOPOLE
(OVERALL HEIGHT: 79'-0" A.G.L.)
RAWLAND COMMUNICATION SITE

PROJECT ADDRESS:

2101 S WALKER AVE,
ALAMOGORDO, NEW MEXICO 88310
OTERO COUNTY

SHEET TITLE:

SECTIONS & DETAILS

SAVE DATE:

9/21/2015 9:20 AM

SHEET NUMBER:

C5

NOTES:

1. POWER COORDINATION INFORMATION DEPICTED ON THESE DRAWINGS IS ACCURATE AND COMPLETE AS OF 08-13-15. HOWEVER, PRIOR TO SUBMITTING BIDS CONTRACTOR SHALL CONTACT UTILITY REPRESENTATIVE AND VERIFY THAT CONDITIONS HAVE NOT CHANGED.
2. FIBER COORDINATION IS NOT YET COMPLETE AS OF 09-01-15. FIBER COORDINATION CANNOT BE COMPLETED UNTIL VERIZON WIRELESS PLACES THEIR ORDER WITH THE FIBER COMPANY. FIBER COORDINATION INFORMATION, INCLUDING THE APPROVED ROUTE AND CONDUIT DESIGN, IS PROVIDED BY OTHERS. WHEN FIBER COORDINATION IS COMPLETED, AT A FUTURE TIME, ACQUISITION OF NEW EASEMENTS MAY BE REQUIRED, WITH CONSEQUENT NEW SURVEY WORK PERFORMED. REVISED SURVEYS AND DRAWINGS WILL BE ISSUED AT THAT TIME IF REQUIRED. ACQUISITION OF NEW EASEMENTS SHORTLY BEFORE CONSTRUCTION HAS THE POTENTIAL TO HOLD UP CONSTRUCTION.
3. ALL CONDUIT NOT SPECIFIED OTHERWISE SHALL BE SCHD. 40 PVC BELOW GRADE, IMC ABOVE. EMT ACCEPTABLE INDOORS IN AREAS THAT ARE ACCESSIBLE ONLY TO VERIZON WIRELESS AUTHORIZED PERSONNEL.

POWER CONTACT:

PNM
CHRIS RUTTEN
757-937-5511
chris.rutten@pnm.com

CONTACT SHALL BE NOTIFIED PRIOR TO START OF CONSTRUCTION.

FIBER CONTACT:

SEE NOTE 2

DESIGNED FOR:

verizonwireless

4821 EUBANK NE
ALBUQUERQUE, NEW MEXICO 87111

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REV	DATE	CHK	SBS
0	09/04/15	SR	

DESIGNED BY:



9/4/15

PROJECT NAME:

NM6 NOTAH-BAGAY
NEW 75'-0" MONOPOLE
(OVERALL HEIGHT: 79'-0" A.G.L.)
RAWLAND COMMUNICATION SITE

PROJECT ADDRESS:

2101 S WALKER AVE,
ALAMOGORDO, NEW MEXICO 88310
OTERO COUNTY

SHEET TITLE:

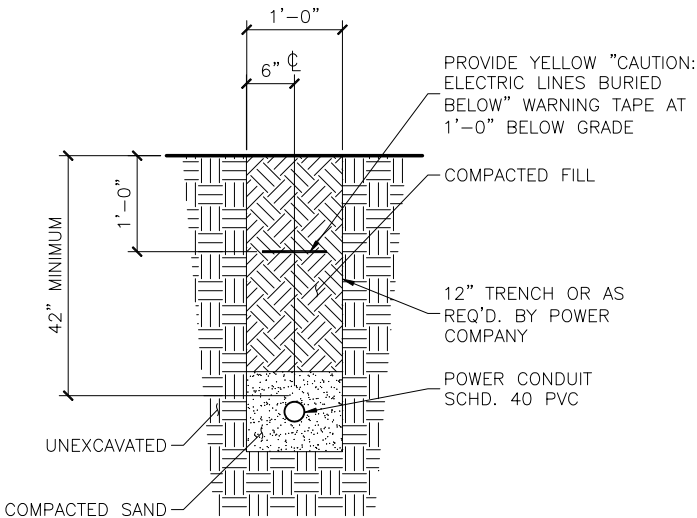
UTILITY COORDINATION
SITE PLAN

SAVE DATE:

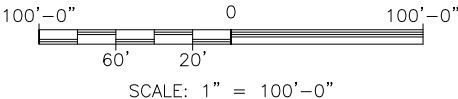
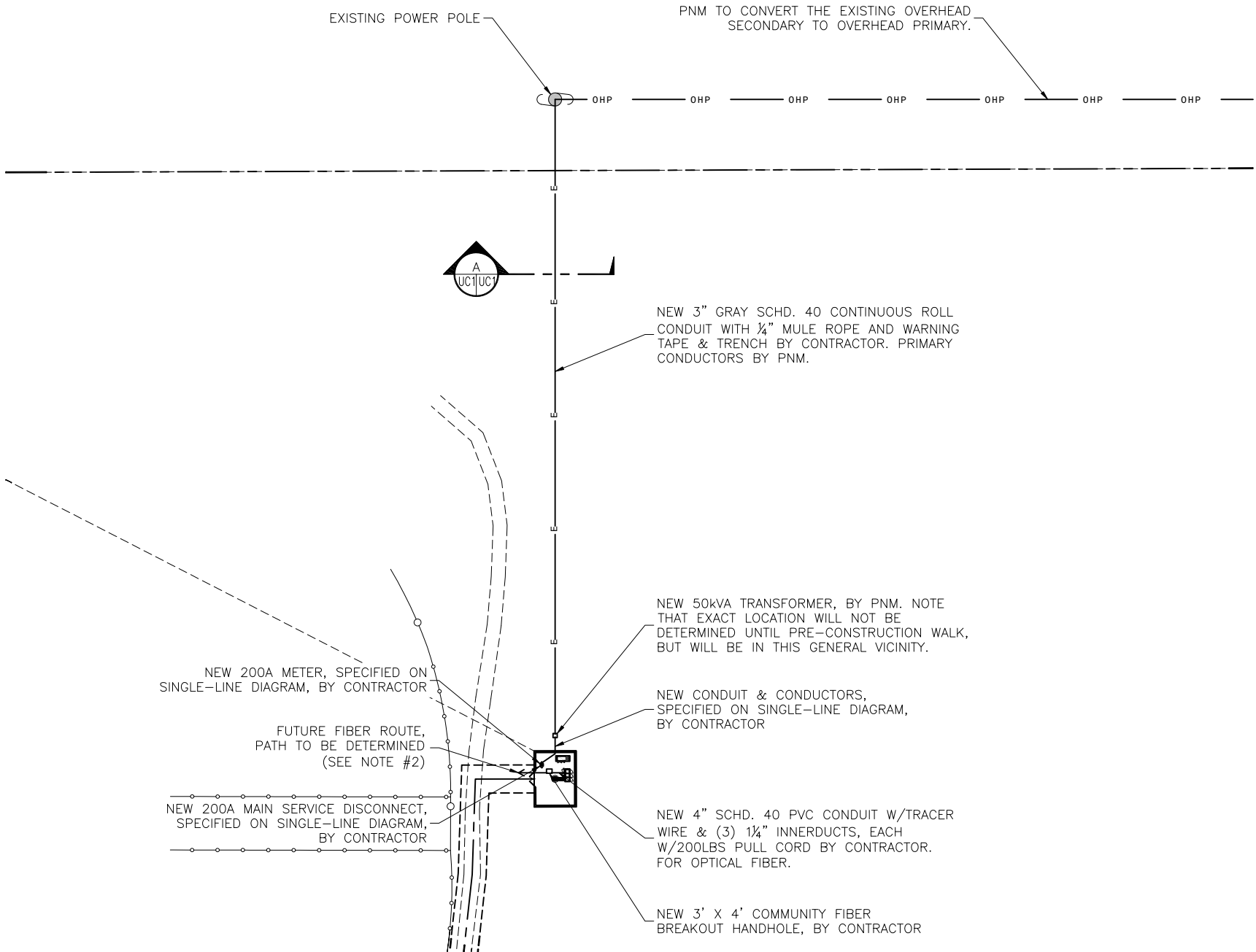
9/4/2015 7:34 AM

SHEET NUMBER:

UC1



POWER CONDUIT DETAIL
SCALE: 1/2"=1'-0"



UTILITY COORDINATION SITE PLAN



APPROVED
FOR CONSTRUCTION

NOTICE:

1. CONTRACTOR SHALL NOT SUBMIT BIDS OR PERFORM CONSTRUCTION WORK ON THIS PROJECT WITHOUT ACCESS TO THE CURRENT COMPLETE SET OF DRAWINGS LISTED IN THE TITLE-SHEET INDEX.

GENERAL ELECTRICAL NOTES	
1.	CONTRACTOR SHALL COMPLY WITH UTILITY’S ELECTRICAL SERVICE SPECIFICATIONS, OBTAIN A COPY AS NEEDED.
2.	THE ELECTRICAL INSTALLATION WORK SHALL COMPLY WITH ALL LOCAL, STATE AND NATIONAL CODES, LAWS AND ORDINANCES APPLICABLE TO ELECTRICAL WORK.
3.	ARC FLASH HAZARD WARNING SIGNS: PER NEC ARTICLE 110.16 EACH OF THE FOLLOWING DEVICES SHALL HAVE A PERMANENT LABEL OR SIGN AFFIXED WARNING QUALIFIED PERSONS OF POTENTIAL ARC FLASH HAZARDS: SERVICE GUTTER–BOXES, METER ENCLOSURES, DISCONNECTS, TRANSFORMERS DOWN–STREAM OR SERVICE EQUIPMENT, TRANSFER SWITCHES, DISTRIBUTION PANEL BOARDS, ANY OTHER DEVICES THAT ARE INSTALLED AND ARE SPECIFIED IN NEC ARTICLE 110.16. THIS LABEL OR SIGN SHALL MEET THE GUIDELINES FOR SAFETY SIGNS SPECIFIED IN THE CURRENT REVISION OF ANSI Z535.4.
4.	CONTRACTOR SHALL VISIT SITE AND VERIFY EXISTING CONDITIONS BEFORE BEGINNING WORK.
5.	ALL MATERIAL AND EQUIPMENT FURNISHED AND INSTALLED UNDER THIS CONTRACT SHALL BE NEW, FREE FROM DEFECTS, AND SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM DATE OF FINAL ACCEPTANCE BY OWNER OR HIS REPRESENTATIVE. SHOULD ANY TROUBLE DEVELOP DURING THIS PERIOD DUE TO FAULTY WORKMANSHIP, MATERIAL OR EQUIPMENT, THE CONTRACTOR SHALL FURNISH ALL NECESSARY MATERIALS AND LABOR TO CORRECT THE TROUBLE WITHOUT COST TO THE OWNER.
6.	ALL WORK TO BE EXECUTED IN A WORKMANLIKE MANNER AND SHALL PRESENT A NEAT MECHANICAL APPEARANCE WHEN COMPLETED.
7.	CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CUTTING AND PATCHING RELATED TO ELECTRICAL WORK.
8.	ALL BRANCH CIRCUIT CONDUCTORS SHALL BE COPPER TYPE "TH." #12, AND #10 SOLID, #8 AND LARGER STRANDED.
9.	CONTRACTOR SHALL FURNISH AS–BUILT DRAWINGS TO THE VERIZON WIRELESS PROJECT MANAGER UPON COMPLETION OF THE JOB.
10.	ELECTRICAL WORK SHALL INCLUDE ALL LABOR, MATERIALS, AND EQUIPMENT REQUIRED, INCLUDING BUT NOT LIMITED TO COMPLETE ELECTRICAL SYSTEMS POWER AND LIGHTING, TELEPHONE CONDUIT SYSTEM, SIGNAL SYSTEMS, PANELBOARD(S), CONTROL WIRING, GROUNDING, CONDUIT ONLY SYSTEMS, ETC., AS INDICATED ON ELECTRICAL DRAWINGS AND/OR REQUIRED BY GOVERNING CODES.
11.	PRIOR TO INSTALLING ANY ELECTRICAL WORK, THE CONTRACTOR SHALL VERIFY EXACT LOCATIONS AND REQUIREMENTS ON THE JOB, AND BY REFERENCE TO ARCHITECTURE, AND EQUIPMENT SUPPLIER’S DRAWINGS. SHOULD THERE BE ANY QUESTIONS OR PROBLEMS CONCERNING THE NECESSARY PROVISIONS TO BE MADE, PROPER DIRECTIONS FROM THE VERIZON WIRELESS PROJECT MANAGER SHALL BE OBTAINED BEFORE PROCEEDING WITH ANY WORK.
12.	THE CONTRACTOR SHALL VERIFY EXISTING SITE CONDITIONS, ELECTRICAL SERVICE REQUIREMENTS AND COORDINATE ALL INTERCONNECTION REQUIREMENTS WITH LOCAL UTILITY AS NECESSARY.
13.	THE NOTE, SPECIFICATION OR CODE WHICH PRESCRIBES AND ESTABLISHES THE HIGHEST STANDARD OF PERFORMANCE SHALL PREVAIL IN THE EVENT OF ANY CONFLICT OR INCONSISTENCY BETWEEN ITEMS SHOWN ON THE PLANS AND/OR SPECIFICATIONS.
14.	THE CONTRACTOR SHALL FURNISH AND PAY FOR ALL PERMITS AND RELATED FEES.
15.	THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONFORMANCE WITH THE NATIONAL ELECTRICAL CODE, STATE OF NEW MEXICO ELECTRICAL SAFETY ORDERS, ALL CODES AND ORDINANCES AND ALL OTHER ADMINISTRATIVE AUTHORITIES HAVING JURISDICTION OVER THIS WORK.
16.	NETWORK–POWERED BROADBAND COMMUNICATIONS EQUIPMENT AND CABLES SHALL BE LISTED AND MARKED IN ACCORDANCE WITH NEC 830.179 (A) OR (B).
17.	PREMISES – POWERED BROADBAND COMMUNICATIONS SYSTEMS EQUIPMENT & CABLES SHALL BE LISTED AND MARKED IN ACCORDANCE WITH NEC 840.179.

GENERAL GROUNDING NOTES:	
1.	CONTRACTOR TO COMPLY WITH VERIZON WIRELESS CELL SITE GROUNDING & BONDING SPECIFICATIONS. IN THE EVENT THAT DRAWINGS CONFLICT WITH VERIZON WIRELESS SPECIFICATIONS, VERIZON WIRELESS SPECIFICATIONS SHALL GOVERN.
2.	ALL DETAILS ARE SHOWN IN GENERAL TERMS, ACTUAL GROUNDING INSTALLATION AND MOUNTING MAY VARY DUE TO SITE SPECIFIC CONDITIONS, XIT GROUND MAY BE REQUIRED.
3.	GROUND RODS SHALL BE COPPER CLAD STEEL, 5/8”ø x 8’ LONG.
4.	INSTALL GROUND AND BONDING CONDUCTORS WITH SUFFICIENT SLACK TO AVOID BREAKING DUE TO SETTLEMENT AND MOVEMENT OF CONDUCTORS AT ATTACHED POINTS.
5.	RESISTANCE TO GROUND SHALL NOT EXCEED 5 OHMS MEASUREMENT. ADDITIONAL GROUND RODS OR XIT GROUND SHALL BE PROVIDED TO ATTAIN THIS VALUE OR LESS. WHERE MULTIPLE RODS ARE INSTALLED THEY SHALL BE SPACED BETWEEN 8 AND 16 FEET APART.
6.	ALL GROUNDING CONDUCTORS SHALL BE U.L. LISTED FOR THEIR PURPOSE.
7.	ALL GROUND CONNECTIONS TO GROUND BARS SHALL BE U.I. 467 LISTED, IRREVERSIBLE COMPRESSION TYPE.
8.	ALL CONNECTIONS TO GROUND BARS SHALL BE COATED WITH ANTIOXIDANT COMPOUND.
9.	PROVIDE ONE TIME HIT 1 lb. HAMMER TEST ON ALL CADWELDS.
10.	ALL EXTERIOR GROUND BARS SHALL BE GALVANIZED STEEL.

NOTICE:	
1.	CONTRACTOR SHALL NOT SUBMIT BIDS OR PERFORM CONSTRUCTION WORK ON THIS PROJECT WITHOUT ACCESS TO THE CURRENT COMPLETE SET OF DRAWINGS LISTED IN THE TITLE–SHEET INDEX.

DESIGNED FOR:



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ALBUQUERQUE, NEW MEXICO 87111

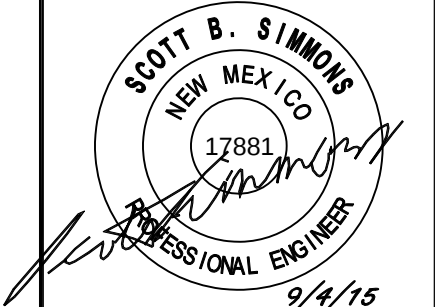
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DESIGNED BY:



AZ - CA - CO - ID - NM - NV - TX - UT

REV	DATE	BY	CHK	SBS		
0	09/04/15	SR				



PROJECT NAME:

NM6 NOTAH–BAGAY
NEW 75’–0” MONOPOLE
(OVERALL HEIGHT: 79’–0” A.G.L.)
RAWLAND COMMUNICATION SITE

PROJECT ADDRESS:

2101 S WALKER AVE,
ALAMOGORDO, NEW MEXICO 88310
OTERO COUNTY

SHEET TITLE:

ELECTRICAL & GROUNDING
GENERAL NOTES

SAVE DATE:

9/4/2015 7:34 AM

SHEET NUMBER:

E1

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FOR CONSTRUCTION

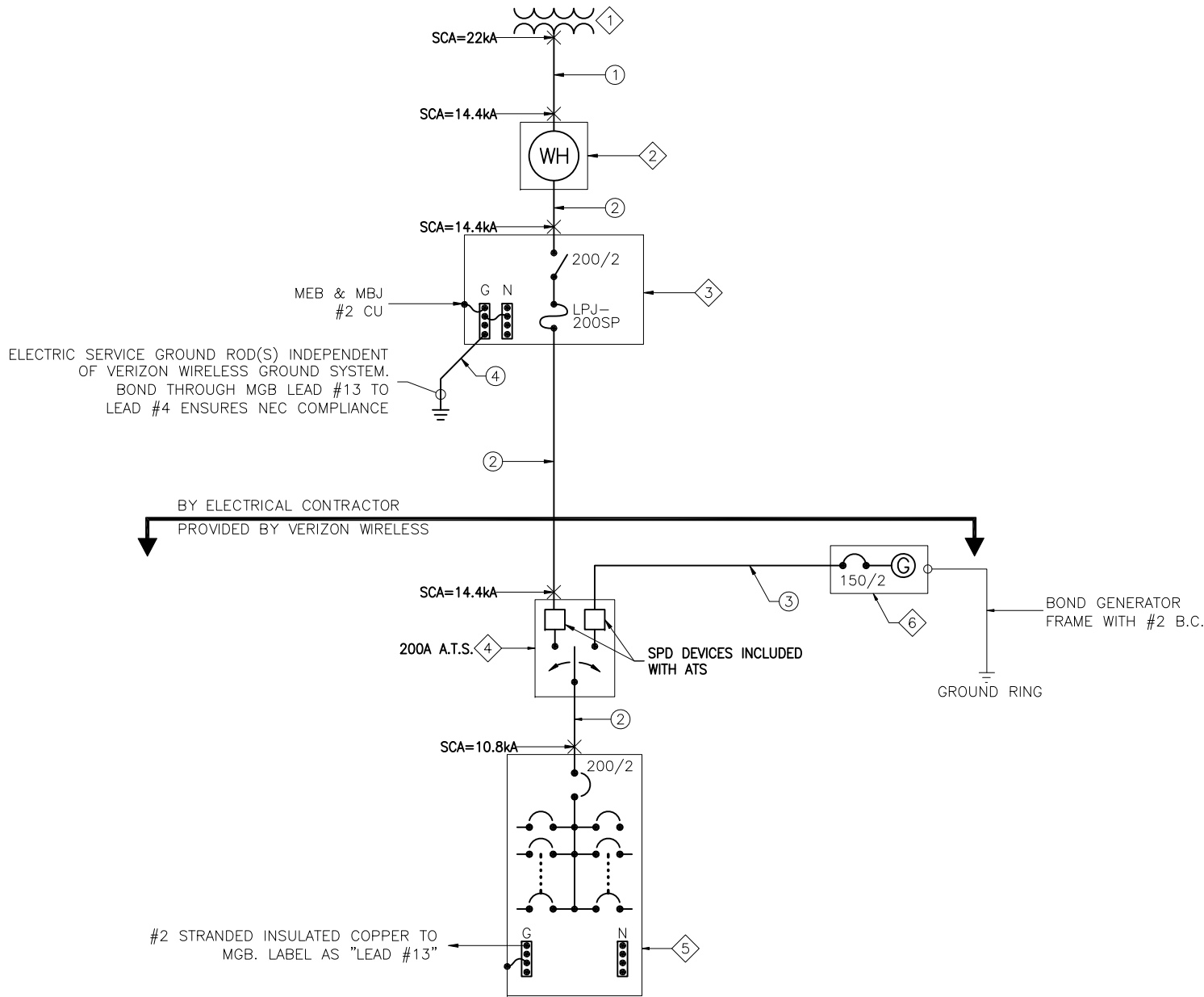
KEYED COMPONENT NOTES:

①	NEW 1Ø, 120/240V, 50kVA UTILITY TRANSFORMER. POSSIBLE FUTURE UPGRADE TO 100kVA. (BY PNM)
②	NEW 200A METER. NEMA 3R SERVICE RATED. ACCEPTABLE TO UTILITY.
③	NEW 200A FUSED DISCONNECT 120/240V, 1Ø, 3W, NEMA 3R, SQUARE D D224NRB OR EQUIVALENT.
④	GENERAC 200AMP, 2-POLE, SOLID-NEUTRAL AUTOMATIC TRANSFER SWITCH PROVIDED BY VERIZON WIRELESS. SCCR = 25,000A. SERIES RATED SCCR = 200,000A WITH UPSTREAM CLASS-J FUSE.
⑤	NEW 200A, 20-CIRCUIT, 1Ø, 120/240V, 3W MAIN DISTRIBUTION PANEL PROVIDED W/EQUIPMENT CABINET. RATED 65KAIC.
⑥	NEW GENERAC 35KW STANDBY GENERATOR PROVIDED BY VERIZON WIRELESS. GENERATOR NEUTRAL SHALL NOT BE BONDED TO FRAME. IT SHALL BE SOLIDLY CONNECTED THROUGH TRANSFER SWITCH TO SERVICE NEUTRAL.

KEYED CONDUIT NOTES:

①	2" C MINIMUM, (3) #3/0 THWN COPPER CONDUCTORS, BY CONTRACTOR.
②	2" C MINIMUM, (3) #3/0 THWN COPPER CONDUCTORS, (1) #2 THWN COPPER GROUND BY CONTRACTOR.
③	1½" C MINIMUM, (3) #1/0 COPPER CONDUCTORS, (1) #2 COPPER GROUND BY CONTRACTOR
④	#2 B.C. TO (2) ⅝"Øx8' LONG GROUND RODS. (BY CONTRACTOR)

REFER TO CABINET DRAWINGS
FOR PANEL SCHEDULE



SINGLE LINE DIAGRAM

NOTICE:

- CONTRACTOR SHALL NOT SUBMIT BIDS OR PERFORM CONSTRUCTION WORK ON THIS PROJECT WITHOUT ACCESS TO THE CURRENT COMPLETE SET OF DRAWINGS LISTED IN THE TITLE-SHEET INDEX.

NOTES:

- ALL CONDUIT NOT SPECIFIED OTHERWISE SHALL BE SCHD. 40 PVC BELOW GRADE, IMC ABOVE. EMT ACCEPTABLE INDOORS.

FAULT SUMMARY FOR COMM SITE:

FAULT CALCULATIONS ARE BASED ON THE FOLLOWING ASSUMPTIONS:

- 100kVA UTILITY TRANSFORMER WITH 22kA AFC PER PNM SERVICE GUIDE. (SEE KEYED COMPONENT NOTE #1 DESCRIPTION)
- SINGLE 3/0 COPPER CONDUCTORS FROM TRANSFORMER TO METER.
- MINIMUM ONE-WAY CONDUCTOR LENGTH OF 20 FEET FROM TRANSFORMER TO METER.
- MAIN SERVICE DISCONNECT MOUNTED IMMEDIATELY ADJACENT TO METER.
- AUTOMATIC TRANSFER SWITCH MOUNTED IMMEDIATELY ADJACENT TO MAIN SERVICE DISCONNECT.
- SINGLE 3/0 COPPER CONDUCTORS FROM AUTOMATIC TRANSFER SWITCH TO MAIN DISTRIBUTION PANEL.
- MINIMUM ONE-WAY CONDUCTOR LENGTH OF 21 FEET FROM AUTOMATIC TRANSFER SWITCH TO MAIN DISTRIBUTION PANEL.

IF FIELD CONDITIONS RESULT IN THE TRANSFORMER OR CONDUCTORS BEING LARGER THAN STATED ABOVE, OR THE CONDUCTORS BEING SHORTER, THEN THE CONTRACTOR SHALL NOTIFY THE ENGINEER TO REVISE THE FAULT CALCULATIONS.

UTILITY TRANSFORMER SCA_{L-L} = 14.7kA
UTILITY TRANSFORMER SCA_{L-N} = 22kA

METER SCA_{L-L} = 12.5kA
METER SCA_{L-N} = 14.4kA

DISCONNECT SCA_{L-L} = 12.5kA
DISCONNECT SCA_{L-N} = 14.4kA

A.T.S. SCA_{L-L} = 12.5kA
A.T.S. SCA_{L-N} = 14.4kA

MAIN PANEL SCA_{L-L} = 10.8kA
MAIN PANEL SCA_{L-N} = 10.6kA

LOAD SUMMARY FOR COMM SITE:

VERIZON WIRELESS DEMAND LOAD = 24kVA
@ 100 AMPS, 240V
100% LF

LEGEND:

✕ INDICATES CALCULATED
FAULT POINT W/AIC AMPS.

DESIGNED FOR:

verizonwireless

4821 EUBANK NE
ALBUQUERQUE, NEW MEXICO 87111

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	DATE	CHK	BY	SBS	DATE	CHK	BY	SBS
	09/04/15	SR						
REV	DESCRIPTION	APPROVED FOR CONSTRUCTION						
0								

SCOTT B. SIMMONS
NEW MEXICO
17881
PROFESSIONAL ENGINEER
9/4/15

PROJECT NAME:

NM6 NOTAH-BAGAY
NEW 75'-0" MONOPOLE
(OVERALL HEIGHT: 79'-0" A.G.L.)
RAWLAND COMMUNICATION SITE

PROJECT ADDRESS:

2101 S WALKER AVE,
ALAMOGORDO, NEW MEXICO 88310
OTERO COUNTY

SHEET TITLE:

SINGLE-LINE DIAGRAM

SAVE DATE:

9/4/2015 7:34 AM

SHEET NUMBER:

E2

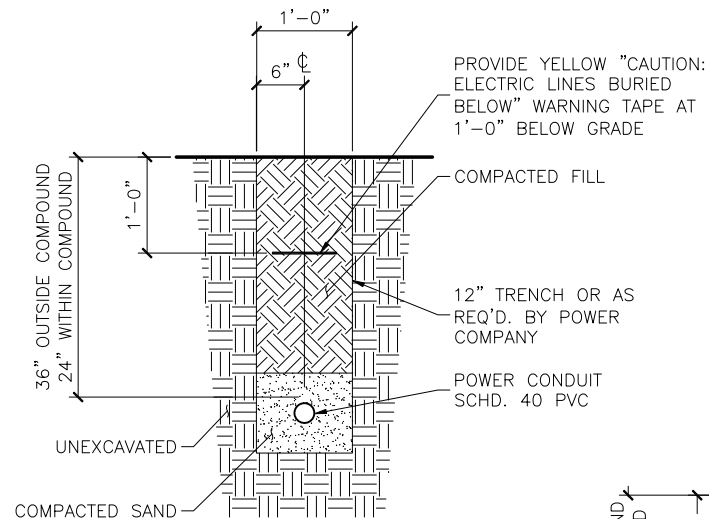
APPROVED
FOR CONSTRUCTION

KEYED COMPONENT NOTES:

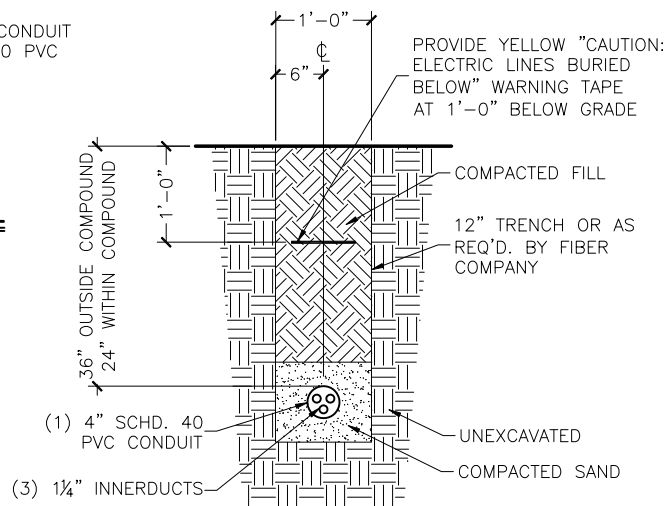
①	NEW 50kVA TRANSFORMER, BY CONTRACTOR. POSSIBLE FUTURE UPGRADE TO 100kVA.
②	NEW 200A METER, SPECIFIED ON SINGLE-LINE DIAGRAM, BY CONTRACTOR
③	NEW 200A FUSED MAIN SERVICE DISCONNECT, SPECIFIED ON SINGLE-LINE DIAGRAM, MOUNTED BELOW METER BY CONTRACTOR.
④	NEW 200A A.T.S. SPECIFIED ON SINGLE-LINE DIAGRAM.
⑤	NEW 200A DISTRIBUTION PANEL, DESCRIBED ON SINGLE-LINE DIAGRAM, BUILT IN TO EQUIPMENT CABINET.
⑥	NEW 35kW GENERATOR SPECIFIED ON SINGLE-LINE DIAGRAM.
⑦	NEW 3' X 4' COMMUNITY FIBER BREAKOUT HANDHOLE, BY CONTRACTOR

KEYED CONDUIT NOTES:

①	NEW CONDUIT & CONDUCTORS, SPECIFIED ON SINGLE-LINE DIAGRAM, BY CONTRACTOR.
②	CONDUIT & CONDUCTORS FROM DISCONNECT TO A.T.S., SPECIFIED ON SINGLE-LINE DIAGRAM.
③	CONDUIT & CONDUCTORS FROM A.T.S. TO DISTRIBUTION PANEL, SPECIFIED ON SINGLE-LINE DIAGRAM.
④	CONDUIT & POWER CONDUCTORS, SPECIFIED ON SINGLE-LINE DIAGRAM, FROM A.T.S. TO GENERATOR.
⑤	¾" CONDUIT & ALARM & CONTROL CONDUCTORS FROM GENERATOR TO A.T.S.
⑥	¾" CONDUIT & BLOCK HEATER/BATTERY CHARGER CONDUCTORS FROM DISTRIBUTION PANEL TO GENERATOR.
⑦	¾" CONDUIT & ALARM CONDUCTORS TO VERIZON WIRELESS ALARM PANEL
⑧	NEW 4" SCHD 40 PVC CONDUIT W/TRACER WIRE & (3) 1¼" INNERDUCTS, EACH W/200LBS PULL CORD BY CONTRACTOR. FOR OPTICAL FIBER.
	ALL NEW CONDUIT NOT SPECIFIED OTHERWISE SHALL BE SCHD. 40 PVC BELOW GRADE, IMC ABOVE. EMT ACCEPTABLE INDOORS.



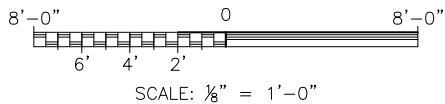
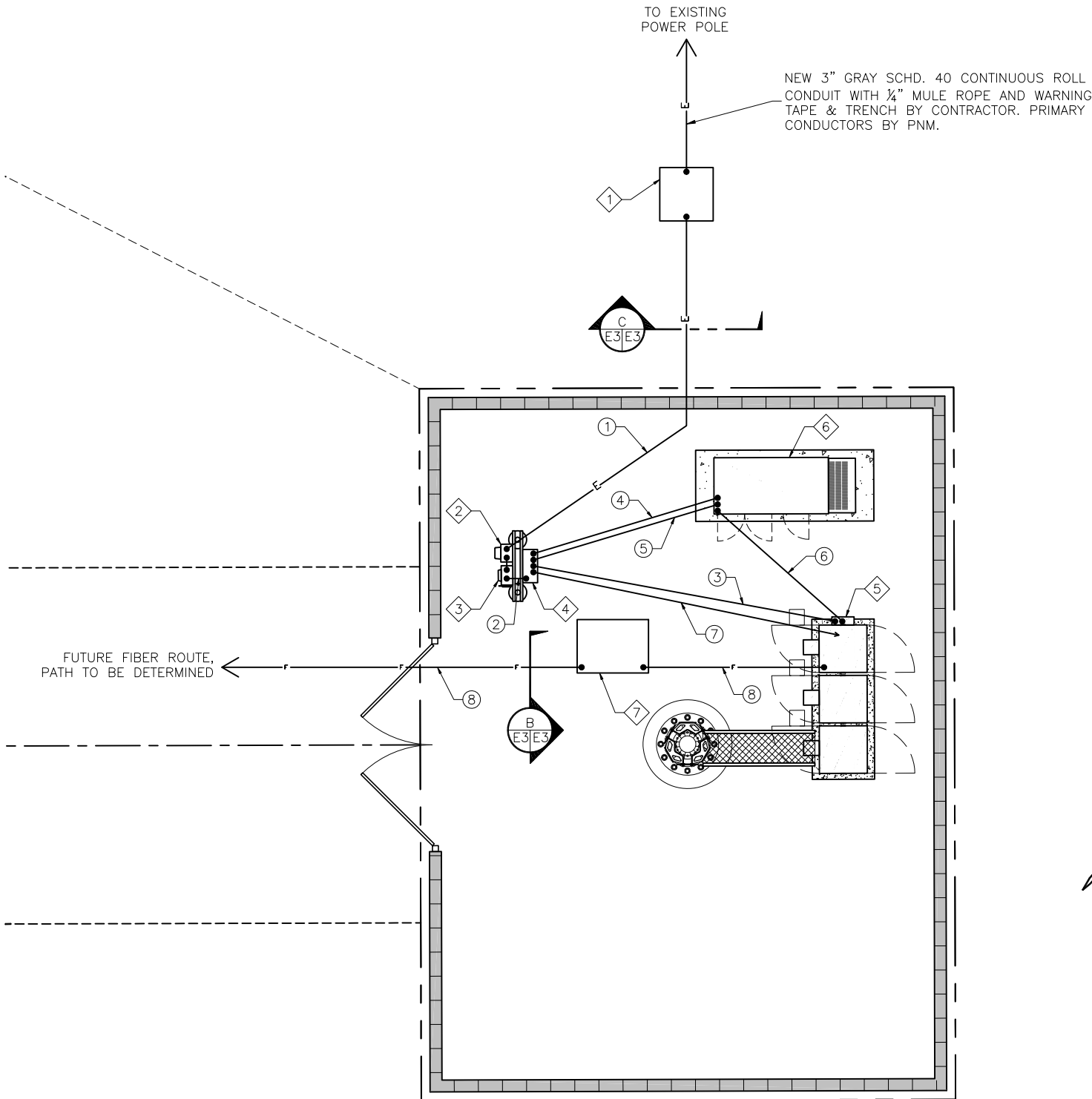
POWER CONDUIT DETAIL
SCALE: 1/2"=1'-0"



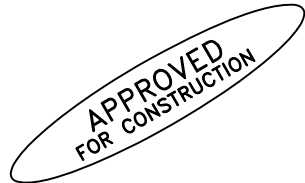
FIBER CONDUIT DETAIL
SCALE: 1/2"=1'-0"

NOTICE:

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ELECTRICAL SITE PLAN



DESIGNED FOR:

verizonwireless

4821 EUBANK NE
ALBUQUERQUE, NEW MEXICO 87111

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AZ - CA - CO - ID - NM - NV - TX - UT

DESIGNED BY:



PROJECT NAME:

NM6 NOTAH-BAGAY
NEW 75'-0" MONOPOLE
(OVERALL HEIGHT: 79'-0" A.G.L.)
RAWLAND COMMUNICATION SITE

PROJECT ADDRESS:

2101 S WALKER AVE,
ALAMOGORDO, NEW MEXICO 88310
OTERO COUNTY

SHEET TITLE:

ELECTRICAL SITE PLAN

SAVE DATE:

9/4/2015 7:34 AM

SHEET NUMBER:

E3

- NOTES:**
1. ALL EXTERIOR GROUND BARS SHALL BE GALVANIZED STEEL AND SHALL HAVE ALARM CONNECTIONS FOR THEFT PREVENTION PER LESSEE GROUNDING STANDARD NSTD46 REV 2-1-11, SECTION 5.3.
 2. CONTRACTOR TO BOND ANY METALLIC ITEMS WITHIN 6' OF VERIZON WIRELESS EQUIPMENT, SHELTER OR GROUND RING TO VERIZON WIRELESS GROUND RING.
 3. THE GROUNDING DIAGRAM SHOWN HERE IS SOMEWHAT SCHEMATIC IN NATURE AND MANY OF THE GROUNDING CONDUCTORS ARE SHOWN WITH A CURVE TO THEM. THIS IS SIMPLY TO INSURE THAT THEY STAND OUT FROM LEASE LINES, FENCE LINES AND SHELTER LINES ETC. ALL GROUNDING AND BONDING CONDUCTORS SHOULD BE INSTALLED IN AS STRAIGHT A LINE AS POSSIBLE. ANY BENDS THAT ARE REQUIRED IN GROUNDING OR BONDING CONDUCTORS SHOULD HAVE A RADIUS NO LESS THAN 12".
 4. BONDING JUMPERS FROM REBAR CAGE AND ANCHOR BOLT TO GROUND RING SHOULD ATTACH AT LOCATIONS ALLOWING JUMPERS TO BE CLOSE TO HORIZONTAL AS POSSIBLE.

GROUNDING LEGEND:	
▲	CADWELD CONNECTION
■	MECHANICAL CONNECTION
⊗	5/8"x8' CU CLAD STEEL GROUND ROD
—	#2 SOLID, TINNED, BARE COPPER
...	#2 STRANDED, INSULATED, COPPER
—	INTERIOR GROUND

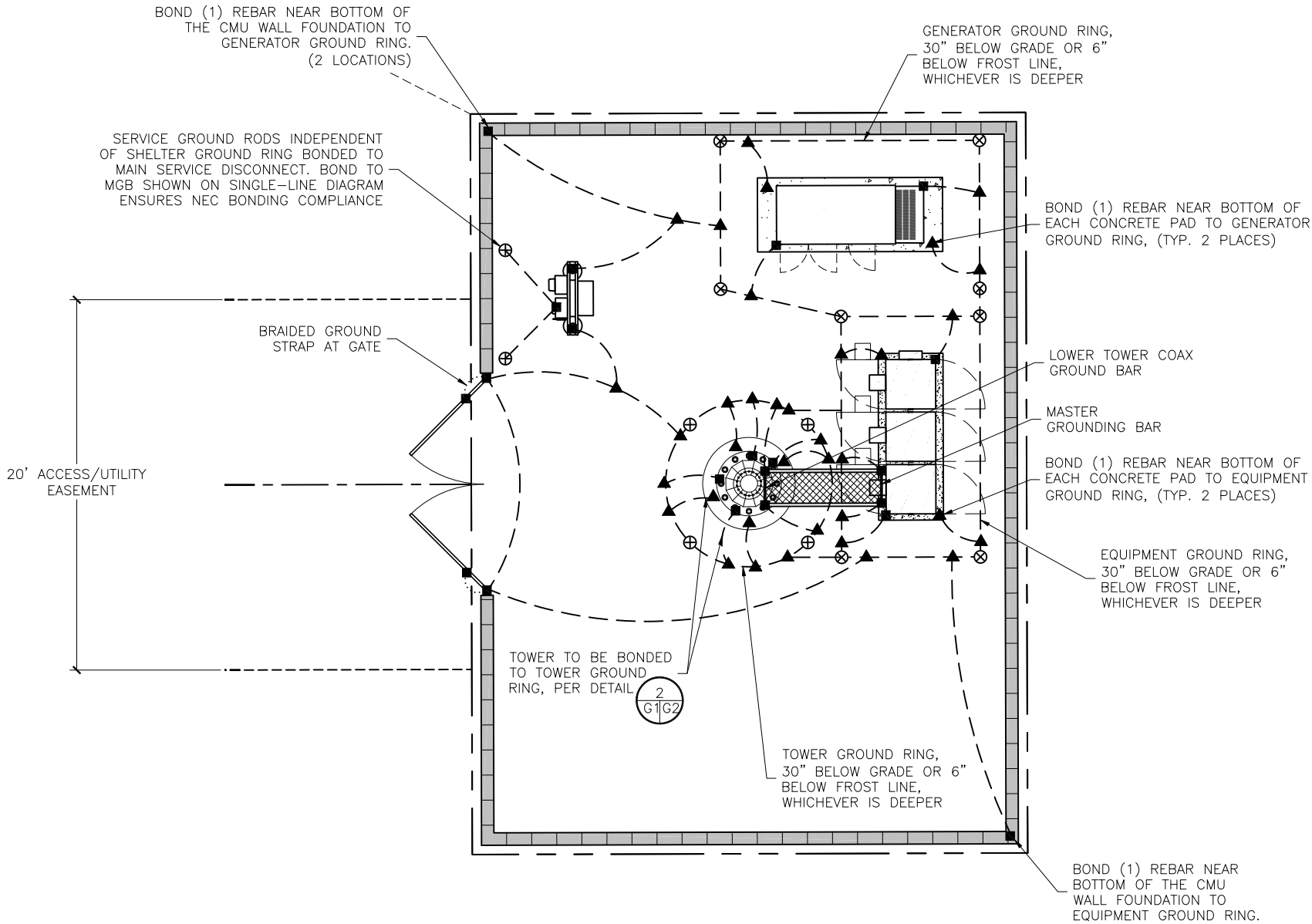
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REV	O	APPROVED FOR CONSTRUCTION	DATE	BY	CHK	SBS				



- NOTICE:**
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GROUNDING SITE PLAN

NORTH

APPROVED
FOR CONSTRUCTION

SCOTT B. SIMMONS

NEW MEXICO

17881

PROFESSIONAL ENGINEER

9/4/15

PROJECT NAME:

NM6 NOTAH-BAGAY
NEW 75'-0" MONOPOLE
(OVERALL HEIGHT: 79'-0" A.G.L.)
RAWLAND COMMUNICATION SITE

PROJECT ADDRESS:

2101 S WALKER AVE,
ALAMOGORDO, NEW MEXICO 88310
OTERO COUNTY

SHEET TITLE:

GROUNDING SITE PLAN

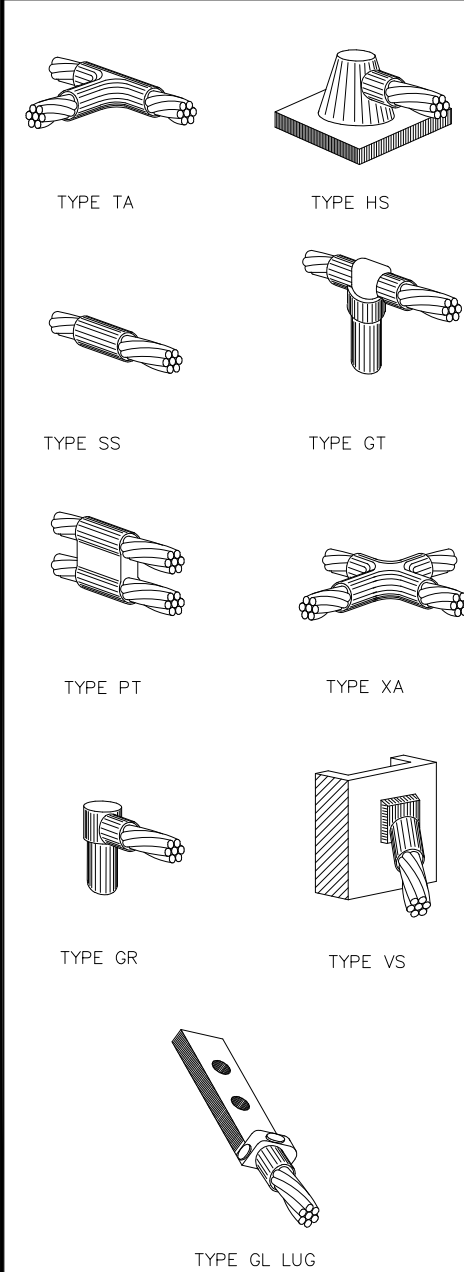
SAVE DATE:

9/4/2015 7:34 AM

SHEET NUMBER:

G1

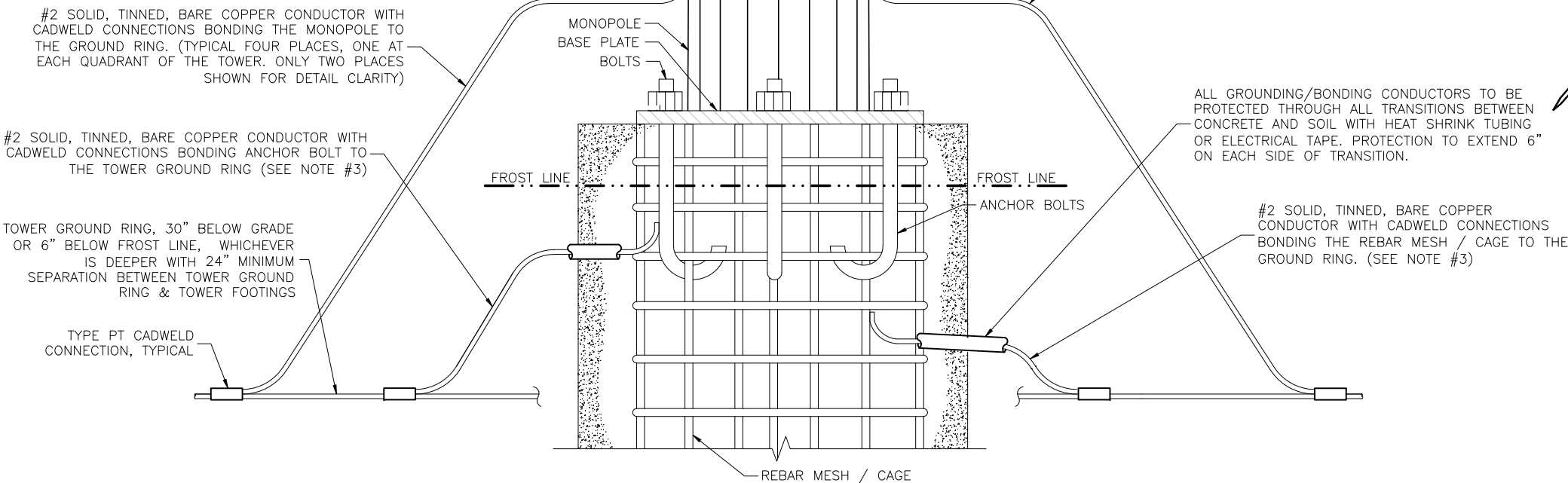
GROUNDING LEGEND:	
▲	CADWELD CONNECTION
●	COAX GROUND KIT
■	MECHANICAL CONNECTION
⊗	5/8"x8' CU CLAD STEEL GROUND ROD
—	#2 SOLID, TINNED, BARE COPPER
- - -	#2 STRANDED, INSULATED, COPPER
—	INTERIOR GROUND



NOTE:
CADWELD "TYPES" SHOWN ABOVE ARE EXAMPLES — CONSULT WITH PROJECT MANAGER FOR SPECIFIC TYPES OF CADWELDS TO BE USED FOR THIS PROJECT.

**TYPICAL CADWELD
& COMPRESSION
CONNECTION DETAILS**

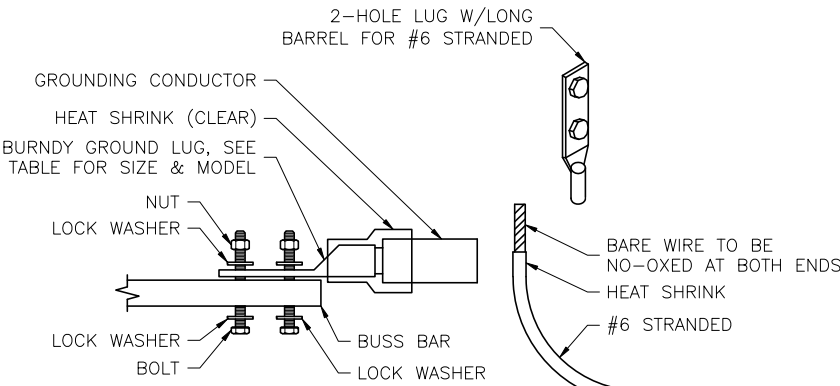
- NOTES:**
1. TOWER & TOWER FOOTING GROUNDING DETAILS AS SPECIFIED BY VERIZON WIRELESS STANDARD NSTD46 —2011, 4.6 & 4.14.3.
 2. ALL GROUNDING AND BONDING CONDUCTORS SHOULD BE INSTALLED IN AS STRAIGHT A LINE AS POSSIBLE. ANY BENDS THAT ARE REQUIRED IN GROUNDING OR BONDING CONDUCTORS SHOULD HAVE A RADIUS NO LESS THAN 12".
 3. BONDING JUMPERS FROM REBAR CAGE AND ANCHOR BOLT TO GROUND RING SHOULD ATTACH AT LOCATIONS ALLOWING JUMPERS TO BE AS CLOSE TO HORIZONTAL AS POSSIBLE, OR TO FLOW ALWAYS IN DOWNWARD DIRECTION FROM TOWER MEMBERS TO GROUND RING.



2 TOWER & FOUNDATION GROUNDING/BONDING DETAIL
G1/G2 SCALE: N.T.S.

- NOTES:**
- 1 ALL HARDWARE BOLTS, NUTS & LOCK WASHERS SHALL BE STAINLESS STEEL. CONNECTIONS SHALL BE BOLT, LOCK WASHER, BUS BAR, LUG & LOCK WASHER, IN THAT ORDER.
 - 2 CONNECTIONS TO STEEL SHALL HAVE A THOMAS & BETTS IDTW DRAGON TOOTH TRANSITION WASHER BETWEEN THE LUG, & STEEL. THE ORDER OF STEEL CONNECTIONS SHALL BE BOLT, LOCK WASHER, STEEL, DRAGON TOOTH WASHER, LUG, LOCK WASHER, NUT.
 - 3 KOPER SHIELD, ANTIOX, CR NO-OX, OR EQUIVALENT IS TO BE PLACED WHERE ALL DISSIMILAR METALS CONNECT.

WIRE SIZE	BURNDY LUG	BOLT SIZE
#6	YA6C-2TC38	3/8"-16 NC S 2-BOLT
#2 AWG SOLID	YA3C-2TC38	3/8"-16 NC S 2-BOLT
#2 AWG STRANDED	YA2C-2TC38	3/8"-16 NC S 2-BOLT
#2/0 AWG	YA26-2TC38	3/8"-16 NC S 2-BOLT
#4/0 AWG	YA28-2N	1/2"-16 NC S 2-BOLT



GROUND LUG TO BUS BAR DETAIL
SCALE: N.T.S.

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FOR CONSTRUCTION

DESIGNED FOR:

verizonwireless

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		DATE	BY	SR	
DESCRIPTION	APPROVED FOR CONSTRUCTION	09/04/15			
		REV	O		

SCOTT B. SIMMONS
NEW MEXICO
17881
PROFESSIONAL ENGINEER
9/4/15

PROJECT NAME:

NM6 NOTAH-BAGAY
NEW 75'-0" MONOPOLE
(OVERALL HEIGHT: 79'-0" A.G.L.)
RAWLAND COMMUNICATION SITE

PROJECT ADDRESS:

2101 S WALKER AVE,
ALAMOGORDO, NEW MEXICO 88310
OTERO COUNTY

SHEET TITLE:

GROUNDING DETAILS

SAVE DATE:

9/4/2015 7:34 AM

SHEET NUMBER:

G2

GROUNDING LEGEND:

▲	CADWELD CONNECTION
●	COAX GROUND KIT
■	MECHANICAL CONNECTION
⊗	5/8"x8' CU CLAD STEEL GROUND ROD
---	#2 SOLID, TINNED, BARE COPPER
---	#2 STRANDED, INSULATED, COPPER INTERIOR GROUND
---	COAX & JUMPERS
---	#6 STRANDED, INSULATED COPPER THWN

#6 AWG STRANDED COPPER GROUND WIRE (GROUND TO GROUND BAR)

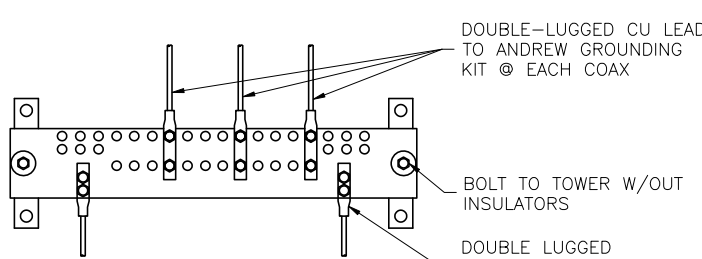
CABLE GROUNDING KIT
ANTENNA CABLE



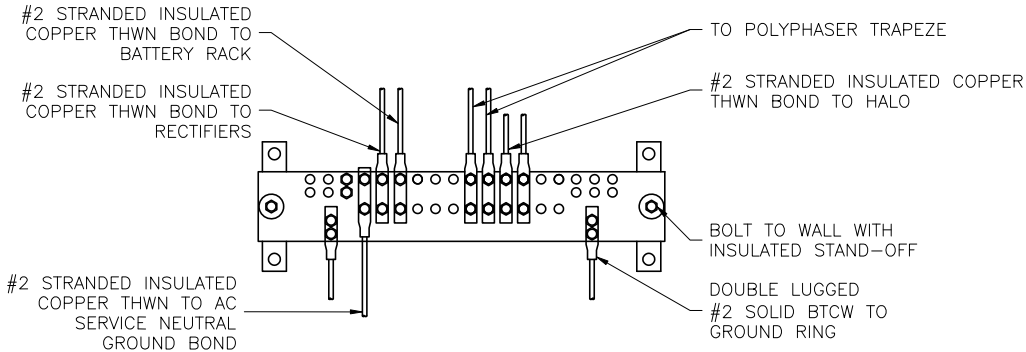
3 TYPICAL GROUND KIT
SCALE: N.T.S.

THEFT DETERRENT:

ALL EXTERIOR GROUND BARS TO BE GALVANIZED STEEL ATTACHED WITH TAMPER PROOF HARDWARE AND WITH ALARM CONNECTIONS PER LESSEE GROUNDING STANDARD NSTD46 REVISION DATE 2-1-11. SEE NOTES BELOW.



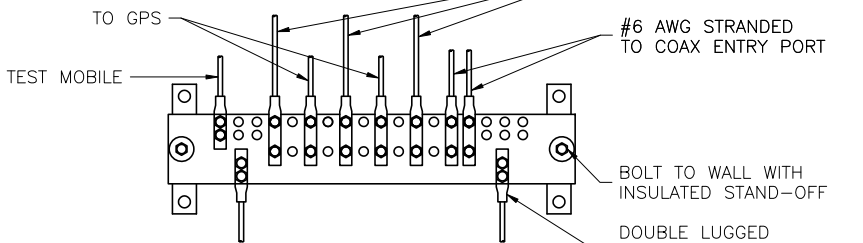
4 TOWER BASE GROUND BAR
BOLT TO COAX LADDER @ BASE OF TOWER



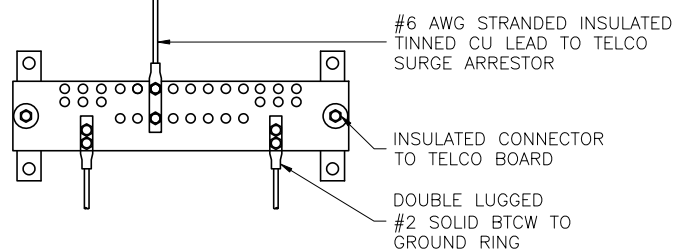
6 MASTER GROUND BAR
MOUNTS TO WALL UNDER GPS/TEST MOBILE ENTRY PORT

NOTES:

- ALL HARDWARE TO BE TAMPER PROOF STAINLESS STEEL PER NSTD46 REVISION DATE 2-1-11.
- COAT ALL SURFACES WITH KOPR-SHEILD BEFORE MATING.
- ALL LUGS SHALL BE 2-BOLT CONNECTIONS.
- EXTERIOR BUS BARS: 4"x20"x1/4" GALVANIZED STEEL.
- INTERIOR BUS BARS: 4"x20"x1/4" COPPER.
- ALL LEADS TO MGB MUST BE LABELED ACCORDING TO NSTD46 REV 2-1-11 SECTION 3.8, FIG. 3.4. WHEN FUTURE REVISIONS ARE ISSUED THE CORRESPONDING INFORMATION FROM THE MOST RECENT REVISION SHALL BE USED.
- EXTERIOR GROUND BARS SHALL HAVE ALARM CONNECTIONS FOR THEFT PROTECTION AS SPECIFIED IN NSTD46 REV DATE 2-1-11 SECTION 5.3.

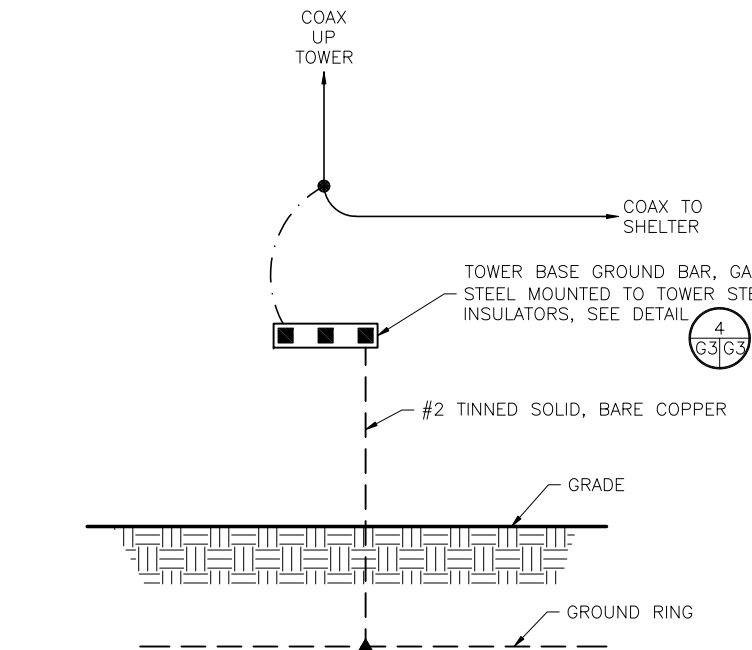
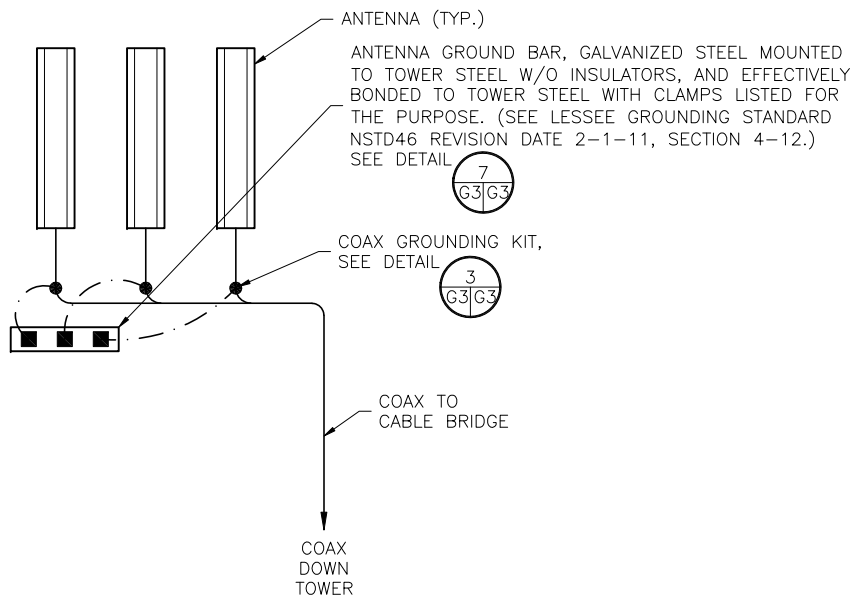


5 EXTERIOR GROUND BAR
MOUNT ON EXTERIOR WALL OF SHELTER @ COAX ENTRY PORT



TELCO BOARD GROUND BUS
BOLT TO TELCO BOARD

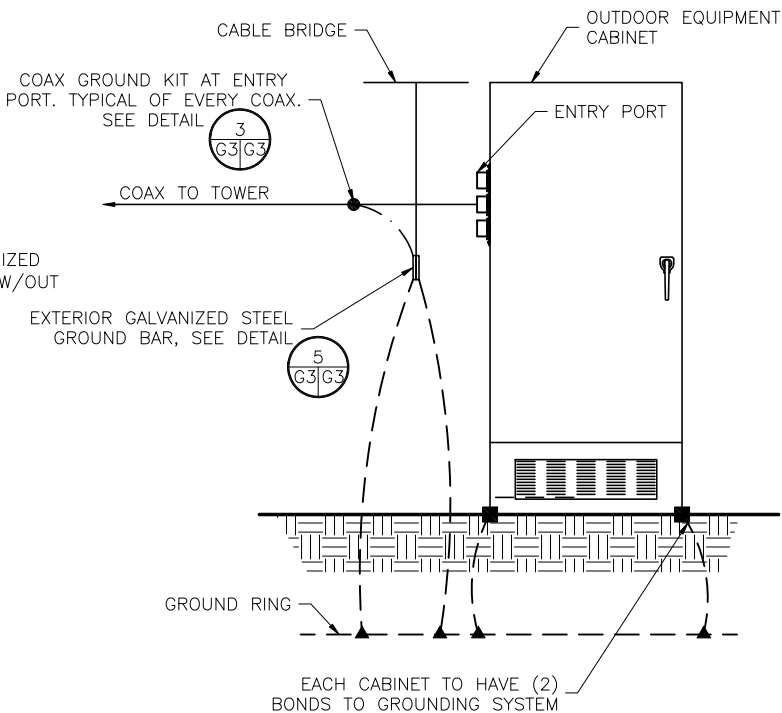
GROUNDING SCHEMATIC DETAILS
SCALE: N.T.S.



NOTICE:

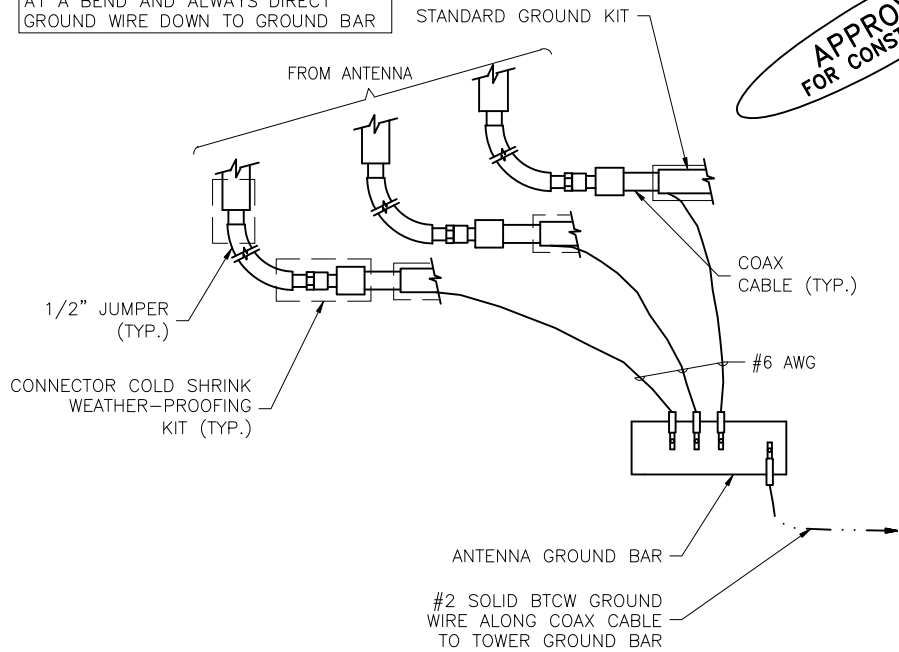
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TYPICAL GROUNDING ELEVATION
SCALE: N.T.S.



NOTE:

DO NOT INSTALL CABLE GROUND KIT AT A BEND AND ALWAYS DIRECT GROUND WIRE DOWN TO GROUND BAR



7 ANTENNA GROUND BAR
SCALE: N.T.S.

DESIGNED FOR:

verizonwireless

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DESIGNED BY:

CHK	BY	SBS
DATE	09/04/15	SR
DESCRIPTION	APPROVED FOR CONSTRUCTION	
REV	0	



PROJECT NAME:

NM6 NOTAH-BAGAY
NEW 75'-0" MONOPOLE
(OVERALL HEIGHT: 79'-0" A.G.L.)
RAWLAND COMMUNICATION SITE

PROJECT ADDRESS:

2101 S WALKER AVE,
ALAMOGORDO, NEW MEXICO 88310
OTERO COUNTY

SHEET TITLE:

GROUNDING DETAILS

SAVE DATE:

9/4/2015 7:34 AM

SHEET NUMBER:

G3

GENERAL ANTENNA NOTES:

1. CONTRACTOR TO VERIFY MECHANICAL DOWNTILT WITH FINAL SLF/RF ENGINEER.
2. DUAL POLAR ANTENNAS REQUIRE TWO RUNS OF COAX PER ANTENNA.
3. CONTRACTOR TO VERIFY ALL ACTUAL LENGTHS IN FIELD PRIOR TO INSTALLATION AND NOTIFY THE FIELD ENGINEER FOR VERIFICATION OF SIZES OF CABLES.
4. CONTRACTOR TO PROVIDE AS BUILT FOR THE LENGTH OF CABLES UPON COMPLETION OF INSTALLATION.
5. CONTRACTOR TO PROVIDE FINAL CABLE LENGTHS AND RETURN LOSSES FOR ALL CABLES.
6. ALL AZIMUTHS REFERENCE TRUE NORTH. CONSULT REQUIRED QUADRANGLE MAP FOR NECESSARY MECHANICAL DECLINATION.

NEW LESSEE ANTENNA SCHEDULE:

ATTACH LEVEL (COR)	AZIMUTHS (DEG., TN)	ANTENNA TYPE	ANTENNA QUANTITY	MOUNT TYPE	COAX (QUANTITY) SIZE (NOMINAL)	ESTIMATED COAX CABLE LENGTH	MECHANICAL DOWN TILT
75'-0"	0° 120° 240°	QUINTEL QS8658-3 8' PANEL ANTENNA	6	SEE ANTENNA MOUNT SCHEDULE	(2) HYBRIFLEX CABLES	~90' (EACH)	REFER TO SLF

- NOTES:
1. FOR EXACT ANTENNA INFORMATION REFER TO THE RF DESIGN.
2. ALL NEW COAX SHALL BE INSTALLED INSIDE MONOPOLE (IF POSSIBLE).
3. CONTRACTOR TO INSTALL DIPLEXERS IN SHELTER AND ON TOWER AS REQUIRED BY RF DESIGN. (IF APPLICABLE)

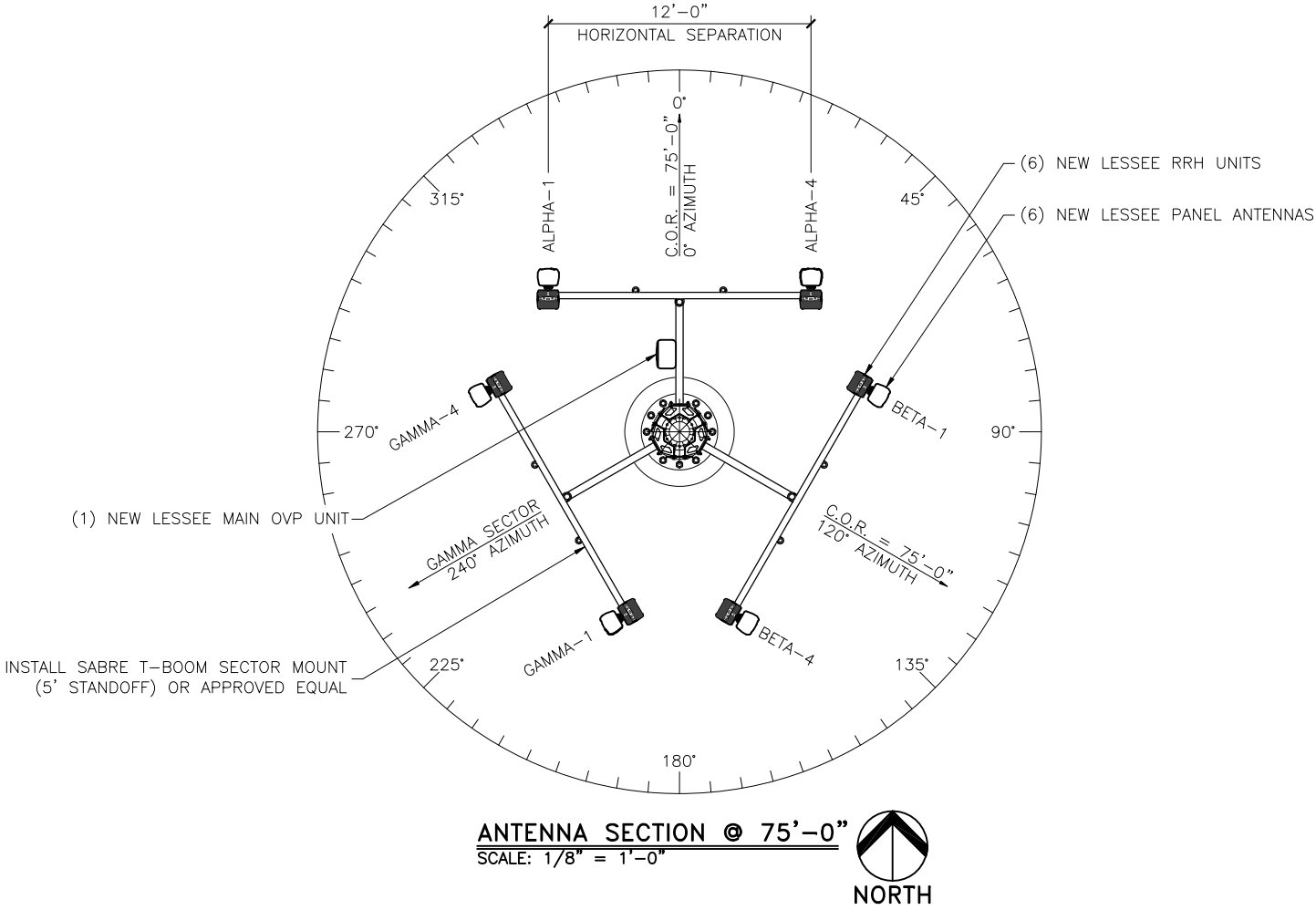
ANTENNA COLOR CODE:

SECTOR	ANTENNA LOCATIONS	FIRST STRIPE (PCS) OR (LTE) OR (A-BAND) OR (B-BAND)	SECOND STRIPE	THIRD STRIPE
ALPHA	1	RED OR WHITE OR YELLOW OR PURPLE	GREEN	-
	2			GREEN
	3			
	4			
BETA	1	RED OR WHITE OR YELLOW OR PURPLE	ORANGE	-
	2			ORANGE
	3			
	4			
GAMMA	1	RED OR WHITE OR YELLOW OR PURPLE	BROWN	-
	2			BROWN
	3			
	4			

ANTENNA MOUNT SCHEDULE:

QUANTITY	DESCRIPTION	PART NUMBER(S)
1	12' FACE, T-ARM ASSEMBLY KIT (5' STANDOFF) (1) TRI-COLLAR BRACKET (3) T-ARM ASSEMBLIES	C10-856

NOTE: ALL PRODUCTS ARE FROM "SABRE SITE SOLUTIONS"
PHONE: (866) 428-6937 / (712) 293-1964 WWW.SABRESITESOLUTIONS.COM



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DESIGNED BY:

TowerCom
TECHNOLOGIES

AZ - CA - CO - ID - NM - NV - TX - UT

DATE: 09/21/15

CHK BY: JVC

DESCRIPTION: APPROVED FOR CONSTRUCTION

REV: 0

PROJECT NAME:

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ALAMOGORDO, NEW MEXICO 88310
OTERO COUNTY

SHEET TITLE:

ANTENNA INFORMATION

SAVE DATE:

9/21/2015 9:20 AM

SHEET NUMBER:

RF1



The Quintel MultiServ™ Multiband 8 Port Antenna with patented Qtilt™ technology uniquely delivers four independent services in a single slim-line antenna. This enables existing antenna-constrained network sites to be upgraded to add new services such as LTE in the 700, AWS & WCS bands with the replacement of one antenna.

The Quintel MultiServ™ Multiband 8 Port Antenna is an ideal solution for independently optimizing multiple services when rapidly introducing new technologies. Technology agnostic, each band provides flexibility for existing and future technologies such as GSM, CDMA, UMTS, LTE and advanced 2Tx4Rx and 4Tx4Rx MIMO implementations.

The tilt of each band is controlled independently via internal RET actuators compliant to AISG1.1, AISG2.0 and 3GPP protocols. The QS6658-3 provides a total of 4 independent tilts 1x(698-787MHz) + 1x(824-894MHz) + 1x(1710-2400MHz) Left hand array + 1x(1710-2400MHz) Right hand array.

Features

Antenna component with:

- 700,850,PCS,AWS&WCS bands in one antenna
- Variable electrical tilt per 700, 850 & Left & Right arrays for 1710-2400 bands
- Simple antenna swap out
- Supports MIMO services with 2Tx4Rx & 4Tx4Rx capability at 1710-2400MHz
- AISG & 3GPP compliant internal remote electrical tilt (RET)
- RET configurable for AISG 1.1/2.0 and 3GPP software via upload
- Provides 8 antenna Ports in a slim-line form factor

Electrical Characteristics	2x Ports (1 & 2)	2x Ports (3 & 4)
Operating Frequency	698MHz to 787MHz	824MHz to 894MHz
Azimuth beamwidth ¹	67°	65°
Elevation beamwidth ¹	10.5°	8.7°
Gain ¹	15dBi	15dBi
Polarization	±45°	±45°
Electrical down-tilt range	2°-10°	2°-10°
Upper sidelobes (Within 20° above mainbeam) ¹	-15dB	-15.5dB
Front to Back Ratio ¹ 80° ± 10° (Co Polar) ¹	≥30dB	≥27dB
Port to Port isolation ¹	≥29dB	≥27dB
Return loss (VSWR)	14dB (1.5:1)	14dB (1.5:1)
Squint ¹	<±3°	<±2°
Tracking ¹	<±3dB	<±3dB
Cross Polar Discrimination (at 0°)	>24dB	>14dB
Power handling (per port)	500 watts	
Passive intermodulation (3 rd Order) (2x43dBm)	<-150dBc	

Electrical Characteristics	4x Ports (5&6, 7&8)			
Operating Frequency	1710-1780MHz	1850-1990MHz	2110-2180MHz	2300-2400MHz
Azimuth beamwidth ¹	70°	75°	63°	60°
Elevation beamwidth ¹	6.2°	5.9°	5.2°	4.8°
Gain ¹	17dBi	16.5dBi	17.5dBi	17.5dBi
Polarization	±45°			
Electrical down-tilt range	2° – 10°			
Upper sidelobes (Within 20° above mainbeam) ¹	-16dB	-16dB	-16dB	-16dB
Front to Back Ratio 180° ± 10° (Co Polar) ¹	≥28dB	≥28dB	≥30dB	≥30dB
Port to Port Isolation ¹	≥28dB	≥28dB	≥30dB	≥30dB
Return loss (VSWR)	14dB (1.5:1)	14dB (1.5:1)	14dB (1.5:1)	14dB (1.5:1)
Squint ¹	<±2°	<±3°	<±4°	<±3°
Tracking ¹	<±4dB	<±2dB	<±3dB	<±4dB
Cross Polar Discrimination (at 0°)	>20dB	>18dB	>17dB	>16dB
Power handling (per port)	250 watts			
Passive intermodulation (3 rd Order) (2x43dBm)	<-150dBc			

Typical Performance across frequency and downtilt.



Quintel Product Datasheet QSE658-3 (700-2400 8T 65ceq) Mar 2014 (Rev 4.0).docx

DESIGNED FOR:

verizonwireless

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REV	DESCRIPTION	DATE	BY	CHK
0	APPROVED FOR CONSTRUCTION	09/21/15	EP	JVC

DESIGNED BY:

**APPROVED
FOR CONSTRUCTION**

PROJECT NAME:

NM6 NOTAH-BAGAY
NEW 75'-0" MONOPOLE
(OVERALL HEIGHT: 79'-0" A.G.L.)
RAWLAND COMMUNICATION SITE

PROJECT ADDRESS:

2101 S WALKER AVE,
ALAMOGORDO, NEW MEXICO 88310
OTERO COUNTY

SHEET TITLE:

ANTENNA CUT SHEET(S)

SAVE DATE:

9/21/2015 9:20 AM

SHEET NUMBER:

RF2

AGENDA REPORT

CITY OF ALAMOGORDO

CITY COMMISSION

Meeting Date: 04/12/2016

Report Date: 4/5/2016

Report No: 15.

Submitted By: Evelyn Huff, Housing
Authority Manager

Subject: Consider, and act upon, the first publication of Ordinance No. 1511 authorizing the sale of certain city owned property located at 1212 Puerto Rico in the amount of \$36,000 to Keith Autry (*Evelyn Huff, Housing Authority Manager*)

Fiscal Impact: Bid 1: \$36,000

Amount Budgeted: \$0.00

Fund: 903-0000-314.13-26

Additional Fiscal Impact:

Recommendation: Approve ordinance for first publication.

Background:

Public Housing acquired the property located at 1212 Puerto Rico Avenue as part of the Homeownership Program. The plan was to rehabilitate the structure and then place an eligible program participant in the property. Several program participants have been placed in the property however none of these participants have been able to successfully complete the program and purchase the property. The property now requires extensive rehabilitation that would price the property beyond the means of any eligible program participant. This matter has been discussed with the Commission and the Housing Board on multiple occasions. The auction was held on Saturday, April 2, 2016 at 10:00am.

State statute imposes certain requirements on a municipality when it seeks to sell property.

As for state law, the particular property was appraised at \$67,000. Consequently, the sale must be done by ordinance. Further, if the Commission agrees to sell the property for less than its appraised value the Commission must give a detailed written explanation why the property is being sold for less than its appraised value.

The winning bid for 1212 Puerto Rico Avenue was \$36,000.00 from Mr. Keith Autry.

An ordinance approving the sale is attached.

ORDINANCE NO. 1511

**AN ORDINANCE AUTHORIZING THE SALE OF
CERTAIN CITY OWNED PROPERTY TO KEITH AUTRY**

WHEREAS, the City of Alamogordo, New Mexico a New Mexico municipal corporation, is the owner of property located at 1212 Puerto Rico Avenue; and,

WHEREAS, this land was acquired by the City of Alamogordo for use in the home ownership program operated by the City's Housing Department; and,

WHEREAS, the Housing Board has determined that said property would not be beneficial for use by the program due to the extensive costs needed to rehabilitate the structure; and,

WHEREAS, the Housing Board has recommended the disposal of the property; and,

WHEREAS, the City Commission has determined that the property is not needed for any other city purposes; and,

WHEREAS, under Section 3-54-1, NMSA 1978, the City is required to obtain an appraisal from a qualified appraiser of any property to be sold, and said appraisal has been obtained and made available for public review.

NOW, THEREFORE, the City Commission of the City of Alamogordo ordains:

(I)

THAT the sale of 1212 Puerto Rico Avenue as described on the attached Exhibit "B" for the sum of \$36,000.00 to Keith Autry.

(II)

THAT this Ordinance has been published prior to its adoption and shall be published at least once after adoption, pursuant to Sections 3-2-1, et.seq., and 3-54-1, et. seq., NMSA 1978, as amended.

(III)

THAT the effective date of this Ordinance shall be forty-five (45) days after its adoption by the governing body of the City of Alamogordo.

(IV)

THE City staff is hereby authorized to close the transaction authorized herein.

PASSED, APPROVED AND ADOPTED, this _____ day of _____,
2016.

CITY OF ALAMOGORDO, NEW MEXICO
a New Mexico municipal corporation

By: _____
Richard A. Boss, Mayor

ATTEST:

Nancy E. Jacobs, City Clerk

APPROVED AS TO FORM:

Stephen P. Thies, City Attorney

Homeownership Properties

	Purchase Price	Expensed Amount	Appraised Value	Reserve	Auction Bid	Bidder Name
1212 Puerto Rico	\$53,454.62	\$54,944.26	\$67,000.00	\$15,000.00	\$36,000.00	Keith Autry
1319 Ohio	\$49,516.45	\$54,946.98	\$63,000.00	\$10,000.00	\$26,000.00	Keith Autry
1315 Puerto Rico	\$58,045.67	\$61,101.17	\$55,000.00	\$10,000.00	\$17,500.00	Keith Autry
700 Ridgecrest	\$62,946.95	\$68,303.62	\$61,000.00	\$10,000.00	\$31,000.00	Thomas Phillips

AGENDA REPORT

CITY OF ALAMOGORDO

CITY COMMISSION

Meeting Date: 04/12/2016

Report Date: 4/5/2016

Report No: 16.

Submitted By: Evelyn Huff, Housing
Authority Manager

Subject: Consider, and act upon, the first publication of Ordinance No. 1512 authorizing the sale of certain city owned property located at 1319 Ohio in the amount of \$26,000 to Keith Autry (*Evelyn Huff, Housing Authority Manager*)

Fiscal Impact: Bid 1: \$26,000

Amount Budgeted: \$0.00

Fund: 903-0000-314.13-26

Additional Fiscal Impact:

Recommendation: Approve ordinance for first publication.

Background:

Public Housing acquired the property located at 1319 Ohio Avenue as part of the Homeownership Program. The plan was to rehabilitate the structure and then place an eligible program participant in the property. Several program participants have been placed in the property however none of these participants have been able to successfully complete the program and purchase the property. The property now requires extensive rehabilitation that would price the property beyond the means of any eligible program participant. This matter has been discussed with the Commission and the Housing Board on multiple occasions. The auction was held on Saturday, April 2, 2016 at 10:00am.

State statute imposes certain requirements on a municipality when it seeks to sell property.

As for state law, the particular property was appraised at \$63,000. Consequently, the sale must be done by ordinance. Further, if the Commission agrees to sell the property for less than its appraised value the Commission must give a detailed written explanation why the property is being sold for less than its appraised value.

The winning bid for 1319 Ohio Avenue was \$26,000.00 from Mr. Keith Autry.

An ordinance approving the sale is attached.

ORDINANCE NO. 1512

**AN ORDINANCE AUTHORIZING THE SALE OF
CERTAIN CITY OWNED PROPERTY TO KEITH AUTRY**

WHEREAS, the City of Alamogordo, New Mexico a New Mexico municipal corporation, is the owner of property located at 1319 Ohio Avenue; and,

WHEREAS, this land was acquired by the City of Alamogordo for use in the home ownership program operated by the City's Housing Department; and,

WHEREAS, the Housing Board has determined that said property would not be beneficial for use by the program due to the extensive costs needed to rehabilitate the structure; and,

WHEREAS, the Housing Board has recommended the disposal of the property; and,

WHEREAS, the City Commission has determined that the property is not needed for any other city purposes; and,

WHEREAS, under Section 3-54-1, NMSA 1978, the City is required to obtain an appraisal from a qualified appraiser of any property to be sold, and said appraisal has been obtained and made available for public review.

NOW, THEREFORE, the City Commission of the City of Alamogordo ordains:

(I)

THAT the sale of 1319 Ohio Avenue as described on the attached Exhibit "B" for the sum of \$26,000.00 to Keith Autry

(II)

THAT this Ordinance has been published prior to its adoption and shall be published at least once after adoption, pursuant to Sections 3-2-1, et.seq., and 3-54-1, et. seq., NMSA 1978, as amended.

(III)

THAT the effective date of this Ordinance shall be forty-five (45) days after its adoption by the governing body of the City of Alamogordo.

(IV)

THE City staff is hereby authorized to close the transaction authorized herein.

PASSED, APPROVED AND ADOPTED, this _____ day of _____,
2016.

CITY OF ALAMOGORDO, NEW MEXICO
a New Mexico municipal corporation

By: _____
Richard A. Boss, Mayor

ATTEST:

Nancy E. Jacobs, City Clerk

APPROVED AS TO FORM:

Stephen P. Thies, City Attorney

Homeownership Properties

	Purchase Price	Expensed Amount	Appraised Value	Reserve	Auction Bid	Bidder Name
1212 Puerto Rico	\$53,454.62	\$54,944.26	\$67,000.00	\$15,000.00	\$36,000.00	Keith Autry
1319 Ohio	\$49,516.45	\$54,946.98	\$63,000.00	\$10,000.00	\$26,000.00	Keith Autry
1315 Puerto Rico	\$58,045.67	\$61,101.17	\$55,000.00	\$10,000.00	\$17,500.00	Keith Autry
700 Ridgecrest	\$62,946.95	\$68,303.62	\$61,000.00	\$10,000.00	\$31,000.00	Thomas Phillips

AGENDA REPORT

CITY OF ALAMOGORDO

CITY COMMISSION

Meeting Date: 04/12/2016

Report Date: 4/5/2016

Report No: 17.

Submitted By: Evelyn Huff, Housing
Authority Manager

Subject: Consider, and act upon, the first publication of Ordinance No. 1513 authorizing the sale of certain city owned property located at 1315 Puerto Rico in the amount of \$17,500 to Keith Autry (*Evelyn Huff, Housing Authority Manager*)

Fiscal Impact: Bid 1: \$17,500

Amount Budgeted: \$0.00

Fund: 903-0000-314.13-26

Additional Fiscal Impact:

Recommendation: Approve ordinance for first publication.

Background:

Public Housing acquired the property located at 1315 Puerto Rico Avenue as part of the Homeownership Program. The plan was to rehabilitate the structure and then place an eligible program participant in the property. Several program participants have been placed in the property however none of these participants have been able to successfully complete the program and purchase the property. The property now requires extensive rehabilitation that would price the property beyond the means of any eligible program participant. This matter has been discussed with the Commission and the Housing Board on multiple occasions. The auction was held on Saturday, April 2, 2016 at 10:00am. .

State statute imposes certain requirements on a municipality when it seeks to sell property.

As for state law, the particular property was appraised at \$55,000. Consequently, the sale must be done by ordinance. Further, if the Commission agrees to sell the property for less than its appraised value the Commission must give a detailed written explanation why the property is being sold for less than its appraised value.

The winning bid for 1315 Puerto Rico Avenue was \$17,500 from Mr. Keith Autry.

An ordinance approving the sale is attached.

ORDINANCE NO. 1513

**AN ORDINANCE AUTHORIZING THE SALE OF
CERTAIN CITY OWNED PROPERTY TO KEITH AUTRY**

WHEREAS, the City of Alamogordo, New Mexico a New Mexico municipal corporation, is the owner of property located at 1315 Puerto Rico Avenue; and,

WHEREAS, this land was acquired by the City of Alamogordo for use in the home ownership program operated by the City's Housing Department; and,

WHEREAS, the Housing Board has determined that said property would not be beneficial for use by the program due to the extensive costs needed to rehabilitate the structure; and,

WHEREAS, the Housing Board has recommended the disposal of the property; and,

WHEREAS, the City Commission has determined that the property is not needed for any other city purposes; and,

WHEREAS, under Section 3-54-1, NMSA 1978, the City is required to obtain an appraisal from a qualified appraiser of any property to be sold, and said appraisal has been obtained and made available for public review.

NOW, THEREFORE, the City Commission of the City of Alamogordo ordains:

(I)

THAT the sale of 1315 Puerto Rico Avenue as described on the attached Exhibit "B" for the sum of \$17,500.00 to Keith Autry.

(II)

THAT this Ordinance has been published prior to its adoption and shall be published at least once after adoption, pursuant to Sections 3-2-1, et. seq., and 3-54-1, et. seq., NMSA 1978, as amended.

(III)

THAT the effective date of this Ordinance shall be forty-five (45) days after its adoption by the governing body of the City of Alamogordo.

(IV)

THE City staff is hereby authorized to close the transaction authorized herein.

PASSED, APPROVED AND ADOPTED, this _____ day of
_____, 2016.

CITY OF ALAMOGORDO, NEW MEXICO
a New Mexico municipal corporation

By: _____
Richard A. Boss, Mayor

ATTEST:

Nancy E Jacobs, City Clerk

APPROVED AS TO FORM:

Stephen P. Thies, City Attorney

Homeownership Properties

	Purchase Price	Expensed Amount	Appraised Value	Reserve	Auction Bid	Bidder Name
1212 Puerto Rico	\$53,454.62	\$54,944.26	\$67,000.00	\$15,000.00	\$36,000.00	Keith Autry
1319 Ohio	\$49,516.45	\$54,946.98	\$63,000.00	\$10,000.00	\$26,000.00	Keith Autry
1315 Puerto Rico	\$58,045.67	\$61,101.17	\$55,000.00	\$10,000.00	\$17,500.00	Keith Autry
700 Ridgecrest	\$62,946.95	\$68,303.62	\$61,000.00	\$10,000.00	\$31,000.00	Thomas Phillips

AGENDA REPORT

CITY OF ALAMOGORDO

CITY COMMISSION

Meeting Date: 04/12/2016

Report Date: 4/5/2016

Report No: 18.

Submitted By: Evelyn Huff, Housing
Authority Manager

Subject: Consider, and act upon, the first publication of Ordinance No. 1514 authorizing the sale of certain city owned property located at 700 Ridgecrest in the amount of \$31,000 to Thomas Phillips (*Evelyn Huff, Housing Authority Manager*)

Fiscal Impact: Bid 1: \$31,000

Amount Budgeted: \$0.00

Fund: 903-0000-314.13-26

Additional Fiscal Impact:

Recommendation: Approve ordinance for first publication.

Background:

Public Housing acquired the property located at 700 Ridgecrest Avenue as part of the Homeownership Program. The plan was to rehabilitate the structure and then place an eligible program participant in the property. Several program participants have been placed in the property however none of these participants have been able to successfully complete the program and purchase the property. The property now requires extensive rehabilitation that would price the property beyond the means of any eligible program participant. This matter has been discussed with the Commission and the Housing Board on multiple occasions. The auction was held on Saturday, April 2, 2016 at 10:00am.

State statute imposes certain requirements on a municipality when it seeks to sell property.

As for state law, the particular property was appraised at \$61,000. Consequently, the sale must be done by ordinance. Further, if the Commission agrees to sell the property for less than its appraised value the Commission must give a detailed written explanation why the property is being sold for less than its appraised value.

The winning bid for 700 Ridgecrest was \$31,000.00 from Mr. Thomas Phillips.

An ordinance approving the sale is attached.

ORDINANCE NO. 1514

**AN ORDINANCE AUTHORIZING THE SALE OF
CERTAIN CITY OWNED PROPERTY TO THOMAS PHILLIPS**

WHEREAS, the City of Alamogordo, New Mexico a New Mexico municipal corporation, is the owner of property located at 700 Ridgecrest Avenue; and,

WHEREAS, this land was acquired by the City of Alamogordo for use in the home ownership program operated by the City's Housing Department; and,

WHEREAS, the Housing Board has determined that said property would not be beneficial for use by the program due to the extensive costs needed to rehabilitate the structure; and,

WHEREAS, the Housing Board has recommended the disposal of the property; and,

WHEREAS, the City Commission has determined that the property is not needed for any other city purposes; and,

WHEREAS, under Section 3-54-1, NMSA 1978, the City is required to obtain an appraisal from a qualified appraiser of any property to be sold, and said appraisal has been obtained and made available for public review.

NOW, THEREFORE, the City Commission of the City of Alamogordo ordains:

(I)

THAT the sale of 700 Ridgecrest Avenue as described on the attached Exhibit "B" for the sum of \$31,000.00 to Thomas Phillips.

(II)

THAT this Ordinance has been published prior to its adoption and shall be published at least once after adoption, pursuant to Sections 3-2-1, et.seq., and 3-54-1, et. seq., NMSA 1978, as amended.

(III)

THAT the effective date of this Ordinance shall be forty-five (45) days after its adoption by the governing body of the City of Alamogordo.

(IV)

THE City staff is hereby authorized to close the transaction authorized herein.

PASSED, APPROVED AND ADOPTED, this _____ day of _____,
2016.

CITY OF ALAMOGORDO, NEW MEXICO
a New Mexico municipal corporation

By: _____
Richard A. Boss, Mayor

ATTEST:

Nancy E. Jacobs, City Clerk

APPROVED AS TO FORM:

Stephen P. Thies, City Attorney

Homeownership Properties

	Purchase Price	Expensed Amount	Appraised Value	Reserve	Auction Bid	Bidder Name
1212 Puerto Rico	\$53,454.62	\$54,944.26	\$67,000.00	\$15,000.00	\$36,000.00	Keith Autry
1319 Ohio	\$49,516.45	\$54,946.98	\$63,000.00	\$10,000.00	\$26,000.00	Keith Autry
1315 Puerto Rico	\$58,045.67	\$61,101.17	\$55,000.00	\$10,000.00	\$17,500.00	Keith Autry
700 Ridgecrest	\$62,946.95	\$68,303.62	\$61,000.00	\$10,000.00	\$31,000.00	Thomas Phillips

AGENDA REPORT

CITY OF ALAMOGORDO

CITY COMMISSION

Meeting Date: 04/12/2016

Report Date: 4/8/2016

Report No: 19.

Submitted By: Rachel Hughs, Deputy
City Clerk

Subject: Appointments to Boards and Committees. *(Richard Boss, Mayor)*

Fiscal Impact:

Amount Budgeted:

Fund:

Additional Fiscal Impact:

Recommendation: Appoint to the Mayor's Committee on Aging and Parks and Recreation Board.

Background:

Airport Zoning Board. Three (3) vacancies. Staff Liaison -Veronica Ortega
(Opening due to the expiring term of Darron Williams and the resignation of Frank Nelson and Paul Vigneault.)
No nominations received.

Alamogordo Disability Council. One (1) vacancy. Staff Liaison - Edward Balderrama
(Openings due to the expiring terms of Rita Martinez and Suzanne Bertrand)
No nominations received.

Community Development Advisory Committee. Five (5) vacancies. Staff Liaison - Stella Rael
(Opening due to the expiring term of Bruce Knee, Tony Alger and Melanie Hall and the resignation of Eddie Kemp and Arthur Alterson)
No nominations received.

Housing Authority Advisory Board. Two (2) vacancies. Staff Liaison - Evelyn Huff
(Opening due to the resignation of Angela Mauldin and Steve Landers)
No nominations received.

Mayors Committee on Aging. Three (3) vacancies. Staff Liaison – Britney Courtier
(Openings due to the resignation of Mary Hammon, David Day, and Josephine Chavez) The following individual is interested in being appointed:
Dawn Lewis - if appointed this will be her first term.

Parks and Recreation Board. One (1) vacancy Staff Liaison -Veronica Ortega

(Opening due to the expiring term of Theda Harshey)

The following individual is interested in being appointed:

Michael Elliott - if appointed this will be his first term.

Promotion Board. One (1) tourism related vacancy. Staff Liaison - Jan Wafful
(the resignation of Kathleen Beall)

(Opening due to

No nominations received.

Public Library Board. One (1) vacancy. Staff Liaison – Melissa Garcia
(Opening due to the expiring term of Joann Reynolds)

No nominations received.

Senior Volunteer Programs Advisory Council. Four (4) vacancies. Staff Liaison - Julie Baker *(Openings due to the expiring term of, Angela Axtolis and the resignations of William Whitley and Thomas Rich V.)*

No nominations received.

**MAYOR'S COMMITTEE ON
AGING**

RECEIVED
MAR 10 2016
CITY CLERK

City of Alamogordo
APPLICATION TO SERVE ON A
CITY BOARD/COMMITTEE

Name: Dawn Lewis
Home Phone: 575-434-0232 Work Phone: 575-679-2775
Cell Phone: 575-449-5635 Fax No: _____
e-mail address: lewis.dawn63@yahoo.com
Physical Address: 1408 Arizona Ave
Is the above address within City limits? Yes X No _____
Mailing Address: 3/A
Present Employer: Trax International Job Title: RADAR Tech

Board/Committee you wish to serve on:

First choice: Mayors Committee on Aging
Second choice: Community Development Advisory Committee

Are you related to anyone who is presently employed by the City of Alamogordo:

Yes _____ No X If so, what is their relation to you? _____

Are you related to any Elected Official of the City of Alamogordo?

Yes _____ No X If so, what is their relation to you? _____

Experience and education relating to the Board/Committee: _____

Currently no experience, but want to
change that.

Please indicate your interest in serving on a City Board/ Committee: I want
to make a positive impact for Alamogordo.

Please return completed application to:

City Clerk's Office
1376 E. Ninth Street
Alamogordo, NM 88310
PHONE: (505)439-4205
FAX: (505)439-4396

PARKS AND RECREATION BOARD

RECEIVED

MAR 02 2016

CITY CLERK

City of Alamogordo
**APPLICATION TO SERVE ON A
CITY BOARD/COMMITTEE**

Name: Michael Elliott
Home Phone: _____ Work Phone: _____
Cell Phone: 575-443-4979 Fax No: _____
e-mail address: mrelliott75@gmail.com
Physical Address: 3611 Greasewood Dr , Alamogordo, NM 883130
Is the above address within City limits? Yes X No _____
Mailing Address: same as above
Present Employer: The Rockhill Group, HAFB, NM Job Title: Console Operator

Board/Committee you wish to serve on:

First choice: Parks and Recreation Board

Second choice: _____

Are you related to anyone who is presently employed by the City of Alamogordo:

Yes _____ No X If so, what is their relation to you? _____

Are you related to any Elected Official of the City of Alamogordo?

Yes _____ No X If so, what is their relation to you? _____

Experience and education relating to the Board/Committee: Four years' experience as a building and grounds maintenance custodian. Responsibilities included general building repairs, maintenance and procurement of any necessary tools and equipment to carry out duties pertaining to the job.

Please indicate your interest in serving on a City Board/ Committee: My goal would be to ensure that our parks and equipment are well maintained and try to avoid a situation like the amphitheater that leaves us with no choice but to tear it down.

Please return completed application to:

City Clerk's Office
1376 E. Ninth Street
Alamogordo, NM 88310
PHONE: (505)439-4205
FAX: (505)439-4396

AGENDA REPORT

CITY OF ALAMOGORDO

CITY COMMISSION

Meeting Date: 04/12/2016

Report Date: 4/7/2016

Report No: 20.

Submitted By:

Subject: Adjourn into Executive Session in compliance with Section 10-15-1(H), NMSA 1978 (as amended), to discuss Limited Personnel Matters (Interim City Manager). **(Roll Call Vote required)**

Fiscal Impact:

Amount Budgeted:

Fund:

Additional Fiscal Impact:

Recommendation:

Background: